

# 217 WEST 57TH STREET NEW YORK, NY

**DEVELOPER:**

**EXTELL DEVELOPMENT COMPANY**

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**CURTAIN WALL CONSULTANT:**

**AJLP Consulting**

40 Worth Street Suite 826  
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TEL: 212 757 5659  
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**LANDMARK/PRESERVATION CONSULTANT:**

**Jan Hird Pokorny Associates, Inc.**

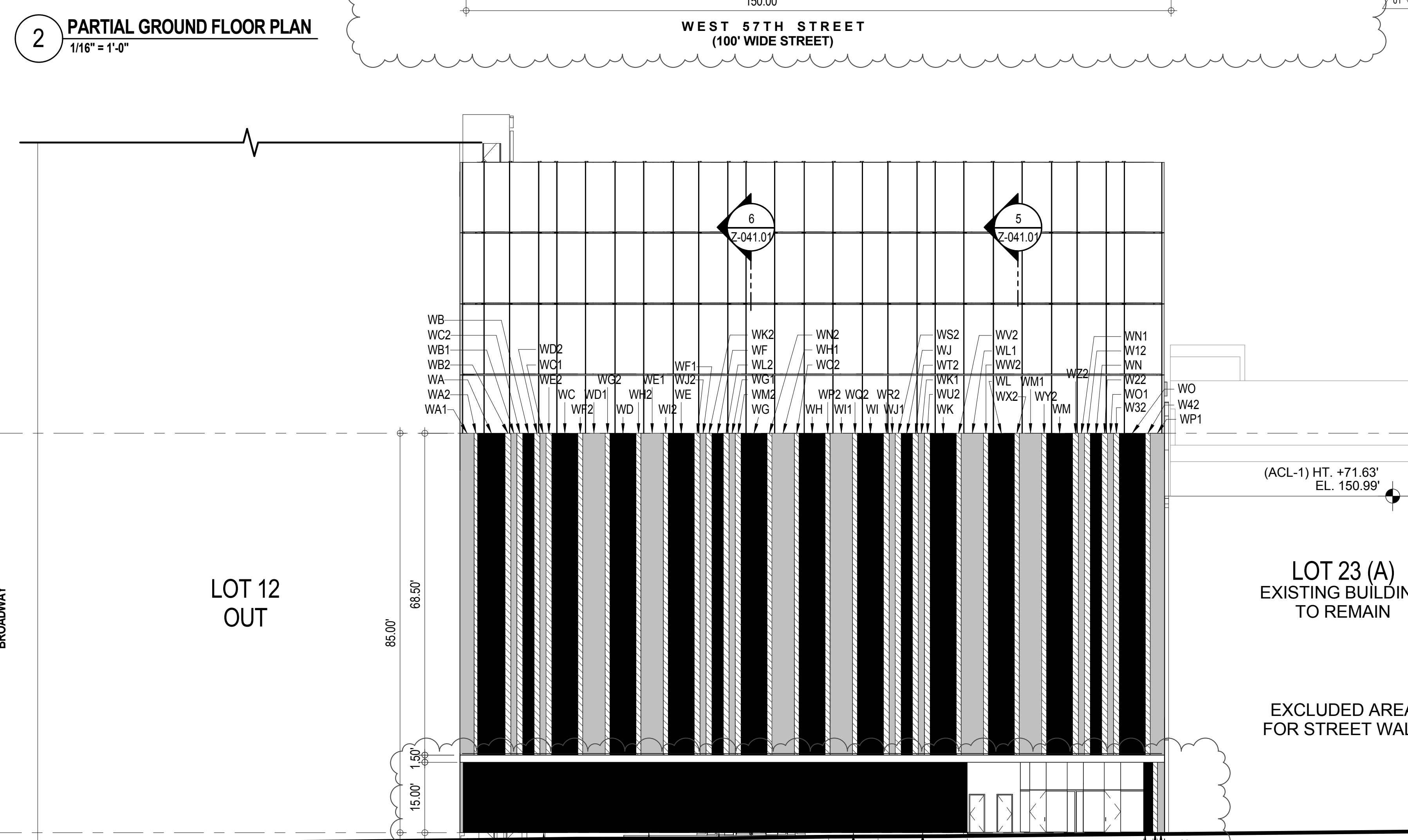
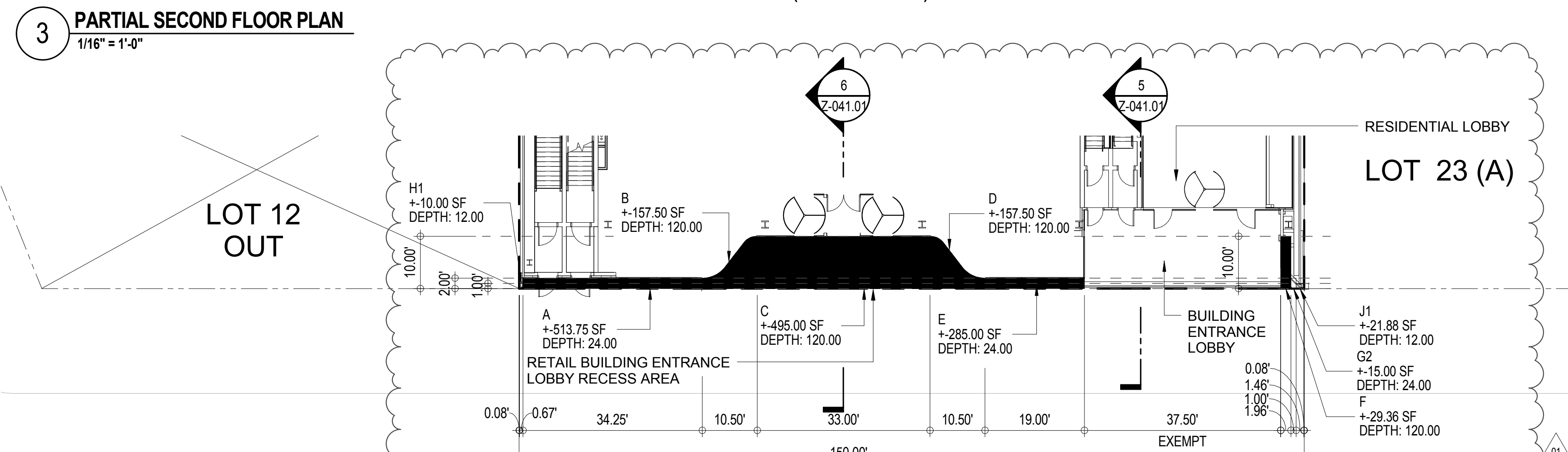
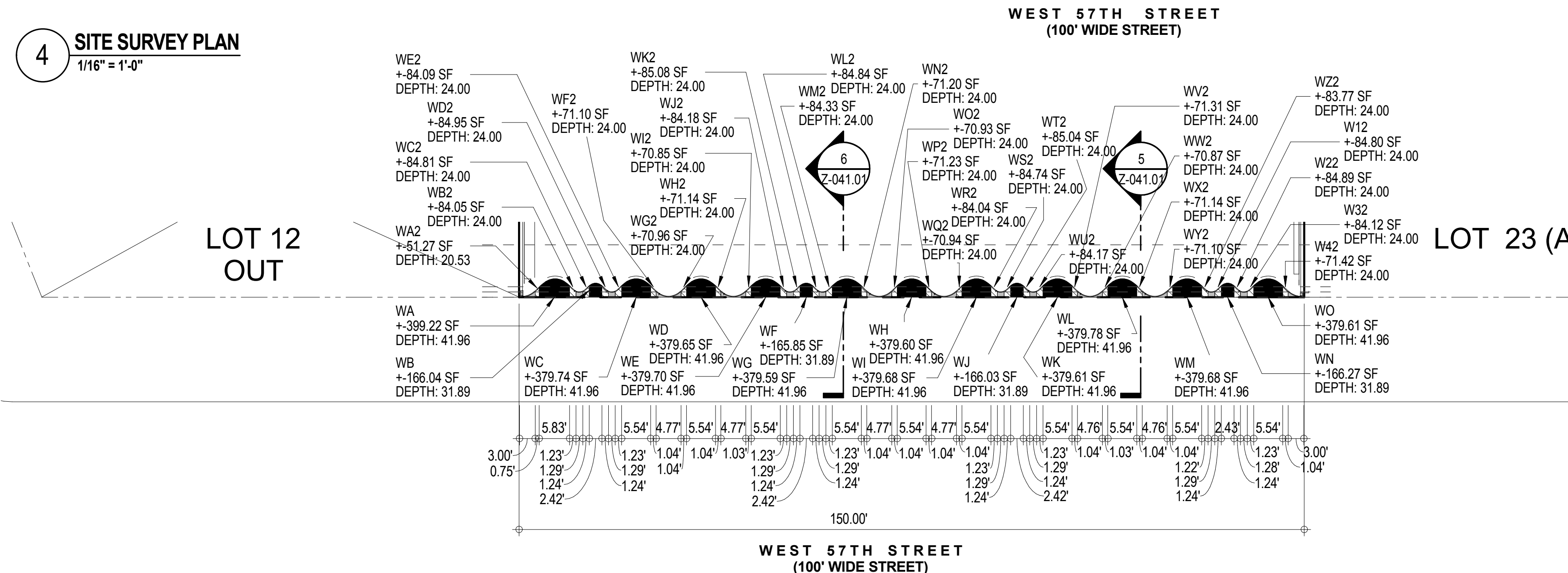
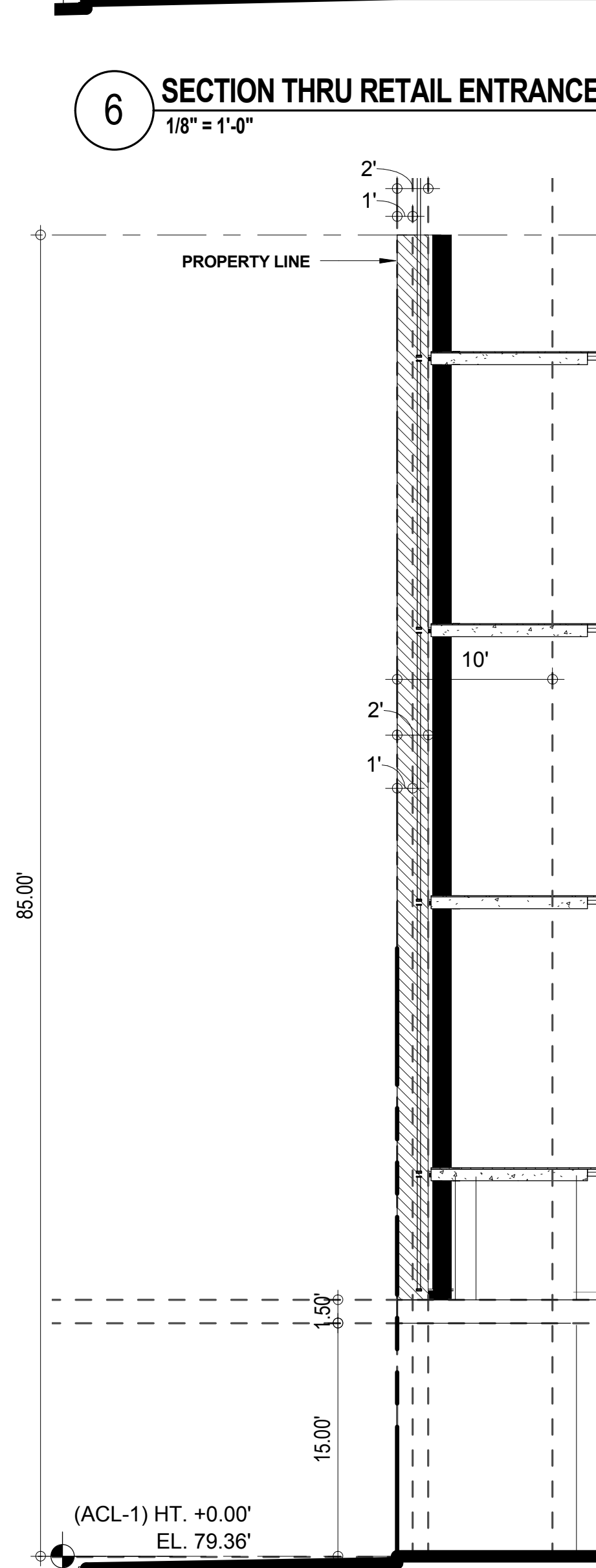
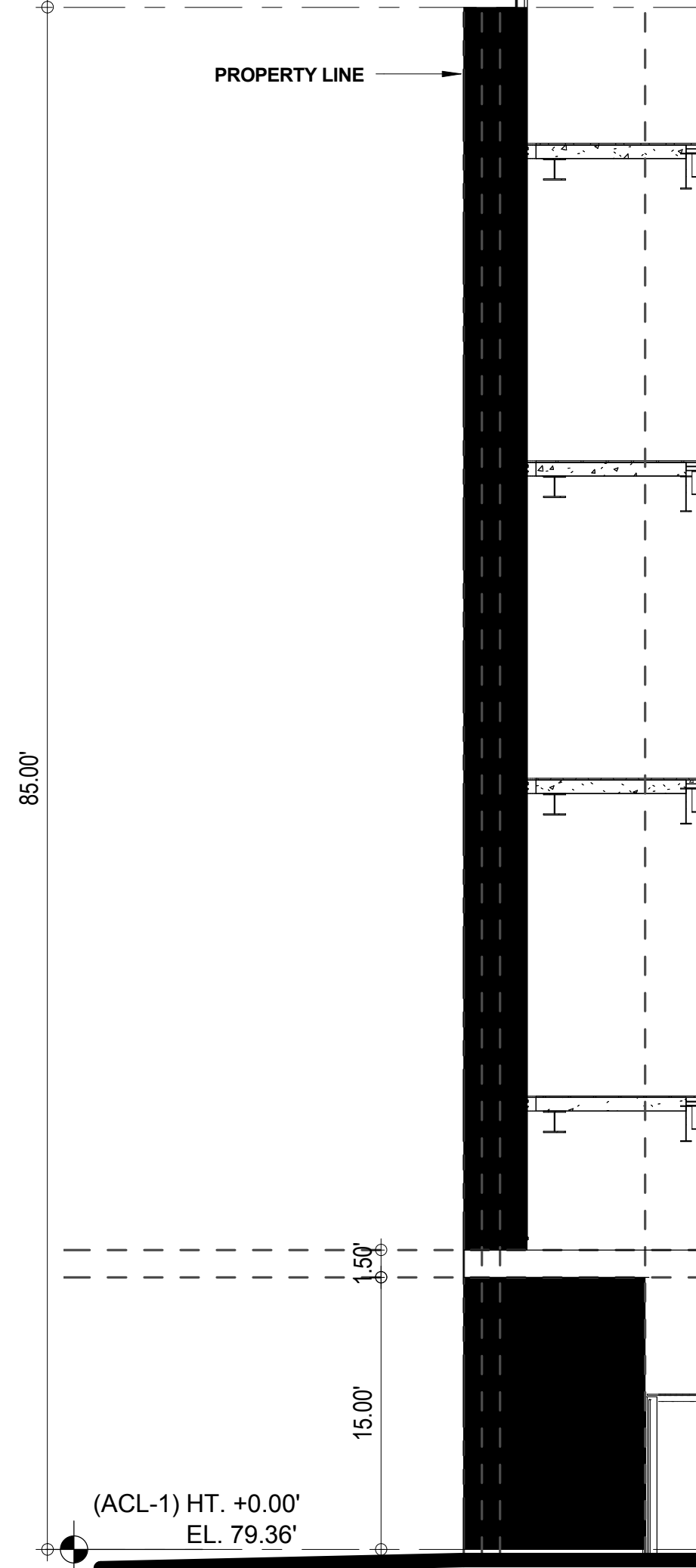
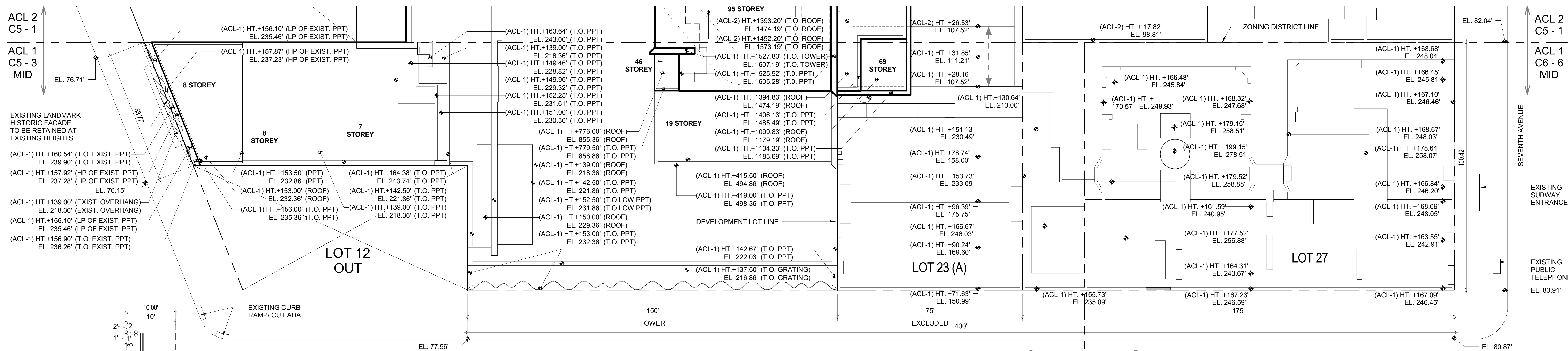
39 West 37th Street, 12A  
New York, NY 10018  
TEL: 212 759 6462  
FAX: 212 759 6540

DRAWING NUMBER	DRAWING TITLE
Z-041.01	STREET WALL CONTINUITY C5-3 AND C6-6 WEST 57TH STREET
Z-043.01	STREET WALL CONTINUITY C5-1 WEST 58TH STREET
Z-044.01	RETAIL CONTINUITY
Z-045.01	SPECIAL URBAN DESIGN REGULATIONS C5-1
Z-046.01	SPECIAL URBAN DESIGN REGULATIONS C5-3
Z-047.01	STREETSCAPE TREE PLANTING
A-035.01	GROUND FLOOR PLAN / BUILDING CODE NOTES (LOBBY)
A-036.01	GROUND FLOOR INTERMEDIATE STAIR TRANSFER PLAN / BUILDING CODE NOTES
A-105.01	GROUND FLOOR PLAN (LOBBY)
A-106.01	GROUND FLOOR PLAN INTERMEDIATE (STAIR TRANSFER)
A-210.01	PARTIAL ELEVATION - NORTH
A-215.01	PARTIAL ELEVATION - SOUTH
A-302.01	NORTH-SOUTH BUILDING SECTION
A-304.01	EAST-WEST BUILDING SECTION
A-311.01	PARTIAL SECTION - NORTH SOUTH - SC3 TO 9TH FLOOR
A-316.01	PARTIAL SECTION - EAST WEST - SC3 TO 9TH FLOOR
A-322.01	PARTIAL SECTION - EAST WEST - SC3 TO 9TH FLOOR
A-360.01	STAIRS ST-K & ST-G SECTIONS
A-361.01	STAIRS ST-J & ST-H SECTIONS
A-362.01	STAIRS ST-A & ST-B SECTIONS
A-363.01	STAIRS ST-C SECTIONS
A-425.01	GROUND FLOOR PART PLAN (SOUTH-EAST)
A-426.01	GROUND FLOOR PART PLAN (NORTH-EAST)
A-430.01	GROUND FLOOR PLAN INTERMEDIATE (STAIR TRANSFER)
A-601.01	DOOR SCHEDULE - SC3 TO 11TH FLOOR
A-605.00	EXTERIOR DOOR SCHEDULE
A-804.01	EXTERIOR WALL DETAILS - PODIUM - NORTH
A-809.01	EXTERIOR WALL DETAILS - PODIUM - SOUTH
A-911.00	MAIN LOBBY PLAN
A-913.00	MAIN LOBBY ELEVATIONS

## ARCHITECTURAL - 24 JULY 2015- DOB AMENDMENT 1



FILE NAME: 217 WEST 57TH STREET  
DATE: 12/16/2016  
DRAWN BY: DAMIAN TITUS  
CHECKED BY: ADRIAN SMITH  
SCALE: AS SHOWN  
DATE: 12/16/2016  
DRAWN BY: DAMIAN TITUS  
CHECKED BY: ADRIAN SMITH  
SCALE: AS SHOWN  
DATE: 12/16/2016



81-43

STREET WALL CONTINUITY - C5-3 (MID) AND C6-6 (MID) - WEST 57TH STREET

1) Length subject to Setback Restrictions to 85' - 80% Length Provided

80% X 400' = 320'

150' + 175' = 325' (see 1 / Z-041.01)

COMPLIES

2) Minimum Continuous Length of Street Wall - 75% Continuous Length Provided

75% X 325' = 245'

325' (see 1 / Z-041.01)

COMPLIES

3) Permitted Recesses Area

i) Maximum area permitted up to 10' Deep - 30% Area Provided

30% X 325' X 85' = 8,288 SF

A+B+C+D+E+F+WA+...WO (see TABLE)

6,498 SF

COMPLIES

ii) Maximum area permitted up to 2' Deep - 20% Area Provided

20% X 325' X 85' = 5,525 SF

L2+W12+W22+W32+...W22 (see TABLE)

± 5,303 SF

COMPLIES

iii) Maximum area permitted up to 1' Deep Area Provided

Unlimited

L1+WA1+WB1+WC1+...WP1 (see TABLE)

± 3,459 SF

COMPLIES

TABLE OF RECESSED AREAS

i) RECESSED AREA UP TO 10' DEEP

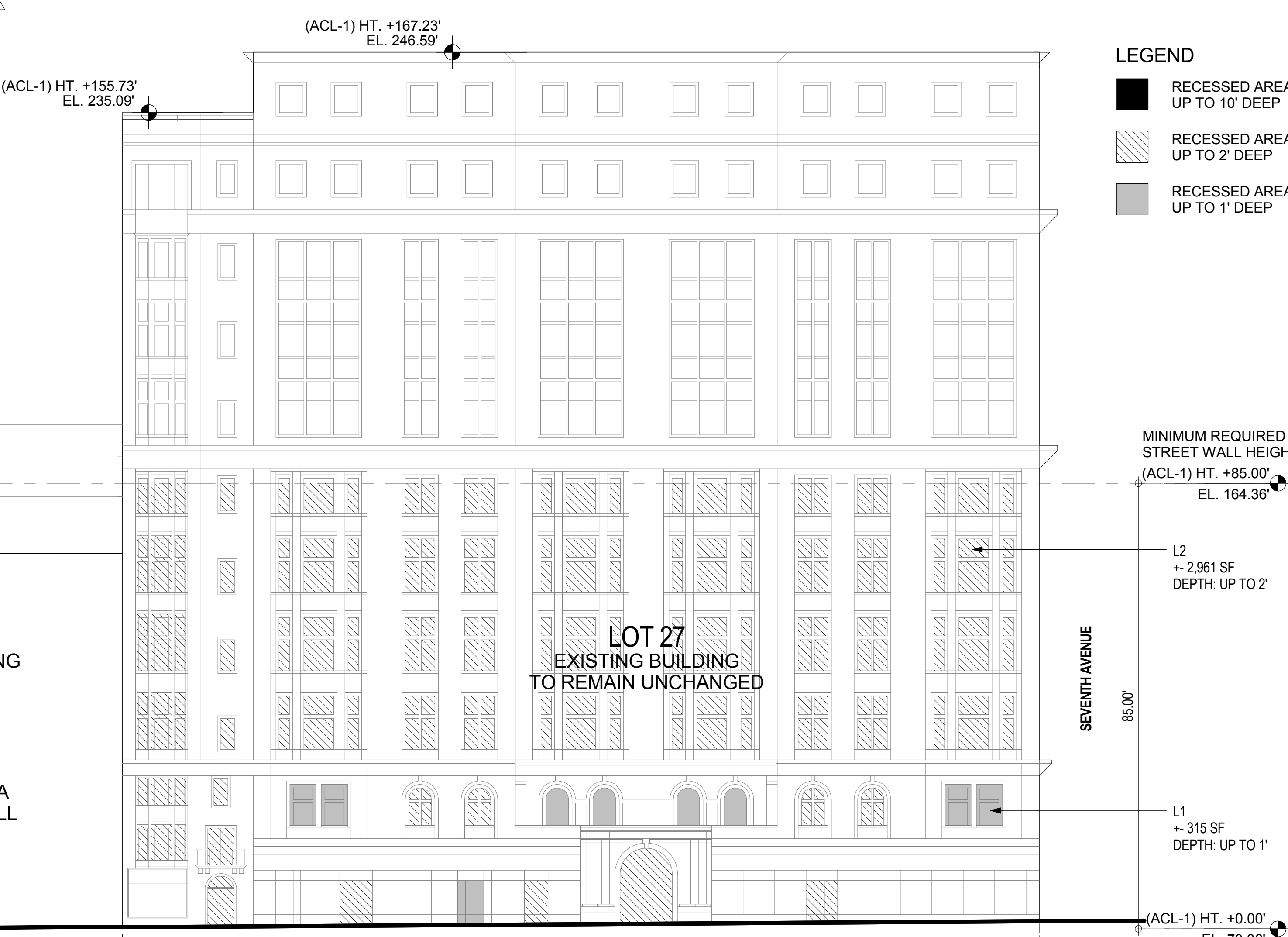
TYPE	AREA	TYPE	AREA
A	514 SF	WH	380 SF
B	158 SF	WI	380 SF
C	495 SF	WJ	166 SF
D	158 SF	WK	380 SF
E	285 SF	WL	380 SF
F	29 SF	WM	380 SF
WA	399 SF	WN	166 SF
WB	166 SF	WO	380 SF
WC	380 SF		
WD	380 SF		
WE	380 SF		
WF	166 SF		
WG	380 SF		
TOTAL		6,498 SF	

ii) RECESSED AREA UP TO 2' DEEP

TYPE	AREA	TYPE	AREA	TYPE	AREA
G2	± 15 SF	WH2	71 SF	WU2	84 SF
L2	2,961 SF	WI2	71 SF	WV2	71 SF
W12	85 SF	WJ2	84 SF	WW2	71 SF
W22	85 SF	WK2	85 SF	WX2	71 SF
W32	84 SF	WL2	85 SF	WY2	71 SF
W42	71 SF	WM2	84 SF	WZ2	84 SF
WA2	51 SF	WN2	71 SF	TOTAL	± 5,303 SF
WB2	84 SF	WO2	71 SF		
WC2	85 SF	WP2	71 SF		
WD2	85 SF	WQ2	71 SF		
WE2	84 SF	WR2	84 SF		
WF2	71 SF	WS2	85 SF		
WG2	71 SF	WT2	85 SF		

iii) RECESSED AREA UP TO 1' DEEP

TYPE	AREA	TYPE	AREA
H1	± 10 SF	WK1	88 SF
J1	22 SF	WL1	326 SF
L1	315 SF	WM1	326 SF
WA1	206 SF	WN1	89 SF
WB1	88 SF	WO1	88 SF
WC1	88 SF	WP1	205 SF
WD1	326 SF	TOTAL	± 3,459 SF
WE1	327 SF		
WF1	88 SF		
WG1	88 SF		
WH1	327 SF		
WI1	327 SF		
WJ1	88 SF		



KEY PLAN

PROJECT 005

DEVELOPER

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ADRIAN SMITH + GORDON GILL ARCHITECTURE

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CHICAGO IL 60603

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ARCHITECT OF RECORD

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No.	DESCRIPTION	DATE
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 1	24 JUL 15

DOB SUBMISSION

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CONSULTANT:

AAI ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET

NEW YORK, NY

DRAWING TITLE:

STREET WALL CONTINUITY C5-3 AND C6-6 WEST 57TH STREET

SEAL & SIGNATURE	DATE	PROJECT No.	DRAWN: Author	CHECK: Checker	SCALE: As indicated	DWG No.	DOB PAGE No.	DOB B-SCAN
	05 DEC 14	1216-00	DAMIAN TITUS	ADRIAN SMITH	2	Z-041.01		

DOB EMPLOYEE STAMP:

Damian Titus

APPROVED Under Directive 2 of 1995

NYC Development Hub

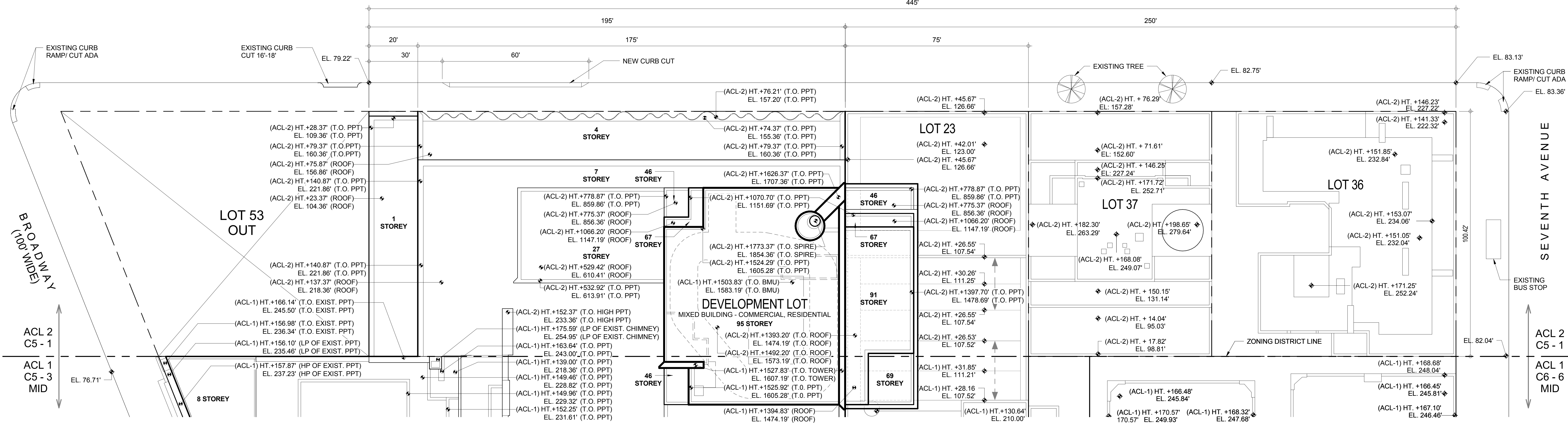
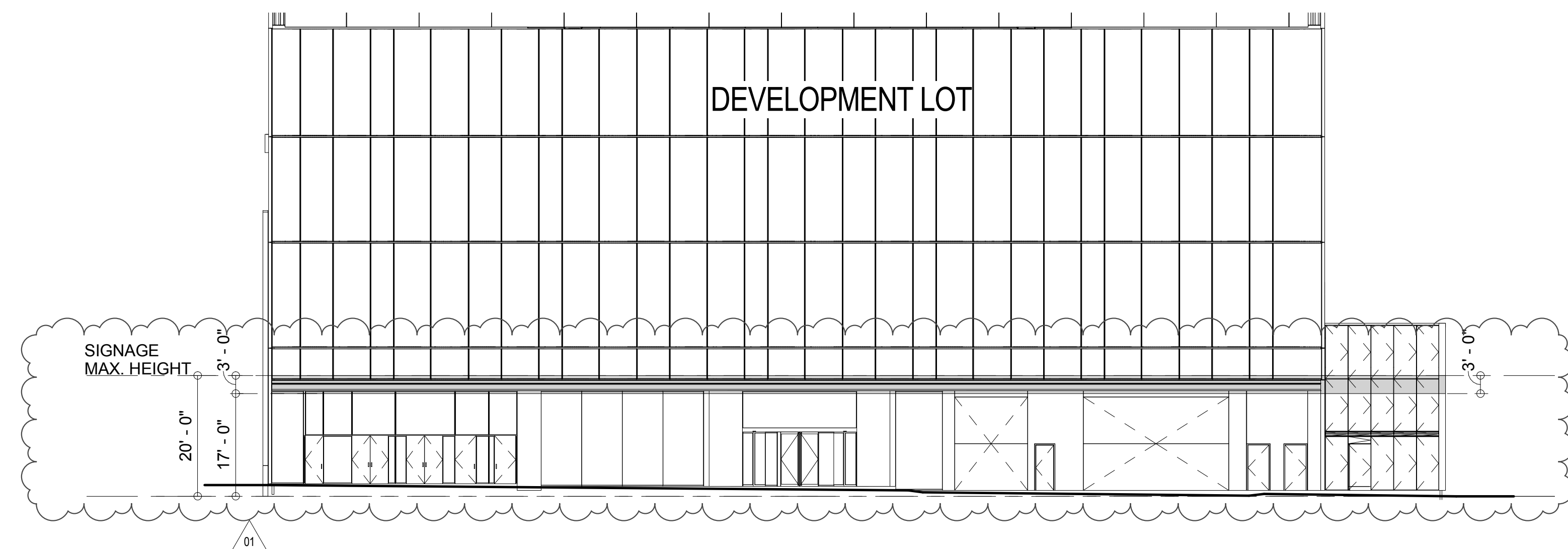
CD PROGRESS ISSUE 1



WEST 58TH STREET  
(60' WIDE)

445'

250'

2 SITE SURVEY PLAN  
1/16" = 1'-0"1 STREETWALL CONTINUITY NORTH ELEVATION - WEST 58TH STREET  
1/16" = 1'-0"

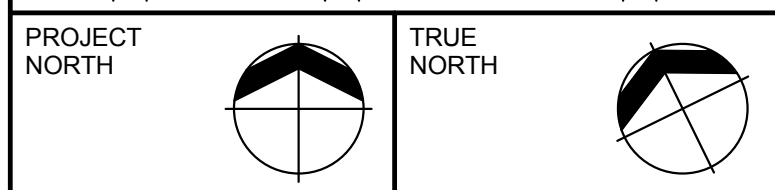
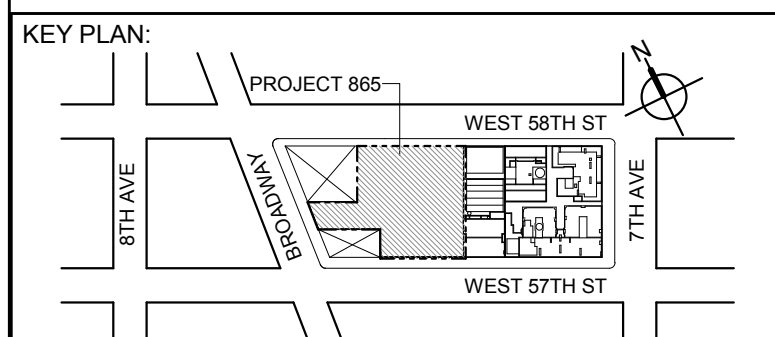
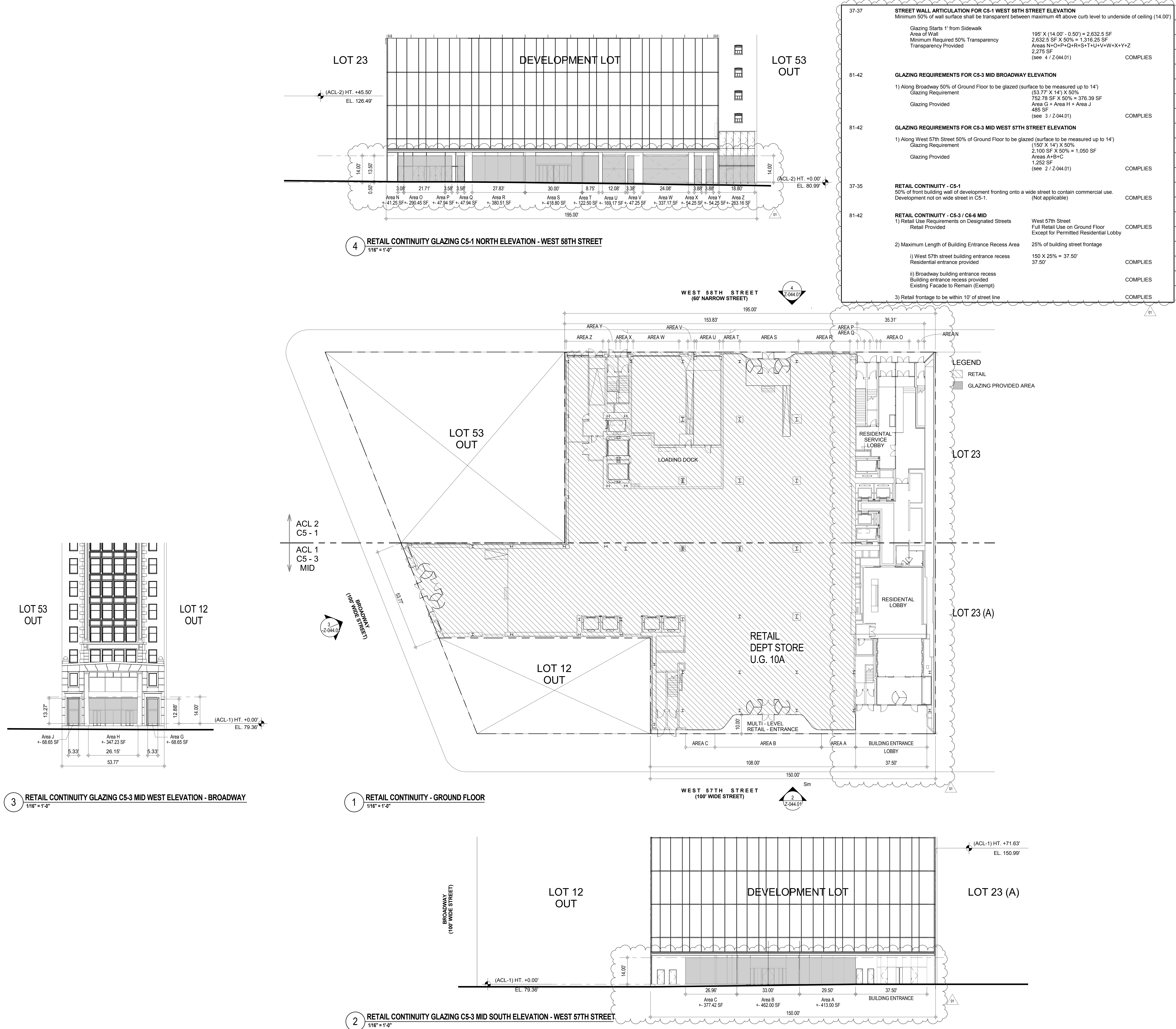
## LEGEND

■ AREAS FOR POTENTIAL SIGNAGE

37-30	STREET WALL CONTINUITY - C5-1 - WEST 58TH STREET	
37-36	SIGN REGULATIONS All signs to be provided in horizontal band, not higher than 17' from curb, and no taller than 3'. Signage area provided (see 1 / Z-043.01 )	COMPLIES

KEY PLAN		
PROJECT NORTH		
TRUE NORTH		
DEVELOPER: <b>EXTELL DEVELOPMENT COMPANY</b> 805 THIRD AVENUE, 11TH FLOOR NEW YORK, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100		
DESIGN ARCHITECT: Base Building Shell & Core <b>ADRIAN SMITH + GORDON GILL ARCHITECTURE</b> 111 WEST MONROE STREET SUITE 2300 CHICAGO IL 60603 TEL: 312 920 1888 FAX: 312 920 1775		
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LANDMARK/PRESERVATION CONSULTANT: <b>Jan Hird Pokorny Associates, Inc.</b> 50 West 57th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540		
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DOB SUBMISSION		
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CONSULTANT:		
<b>AAI</b> ARCHITECTS, P.C.		
PROJECT:		
<b>217 WEST 57TH STREET</b> NEW YORK, NY		
DRAWING TITLE:		
<b>STREET WALL CONTINUITY C5-1</b> WEST 58TH STREET		
SEAL & SIGNATURE:	DATE:	05 DEC 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	2
	SCALE: As indicated	
DWG No:	<b>Z-043.01</b>	
DOB EMPLOYEE STAMP:	DOB PAGE No:	DOB B-SCAN:
APPROVED Under Directive 2 of 1995 ATTORNEY GENERAL'S OFFICE Date: 10/15/2015 NYC Development Hub		





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DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
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TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core  
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## DOB SUBMISSION

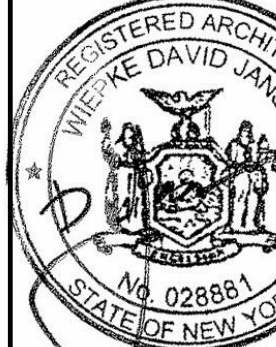
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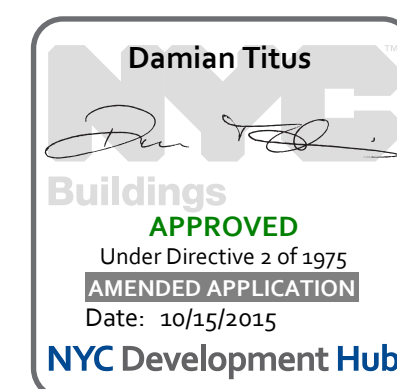
CONSULTANT:  
**AAI**  
ARCHITECTS, P.C.

PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

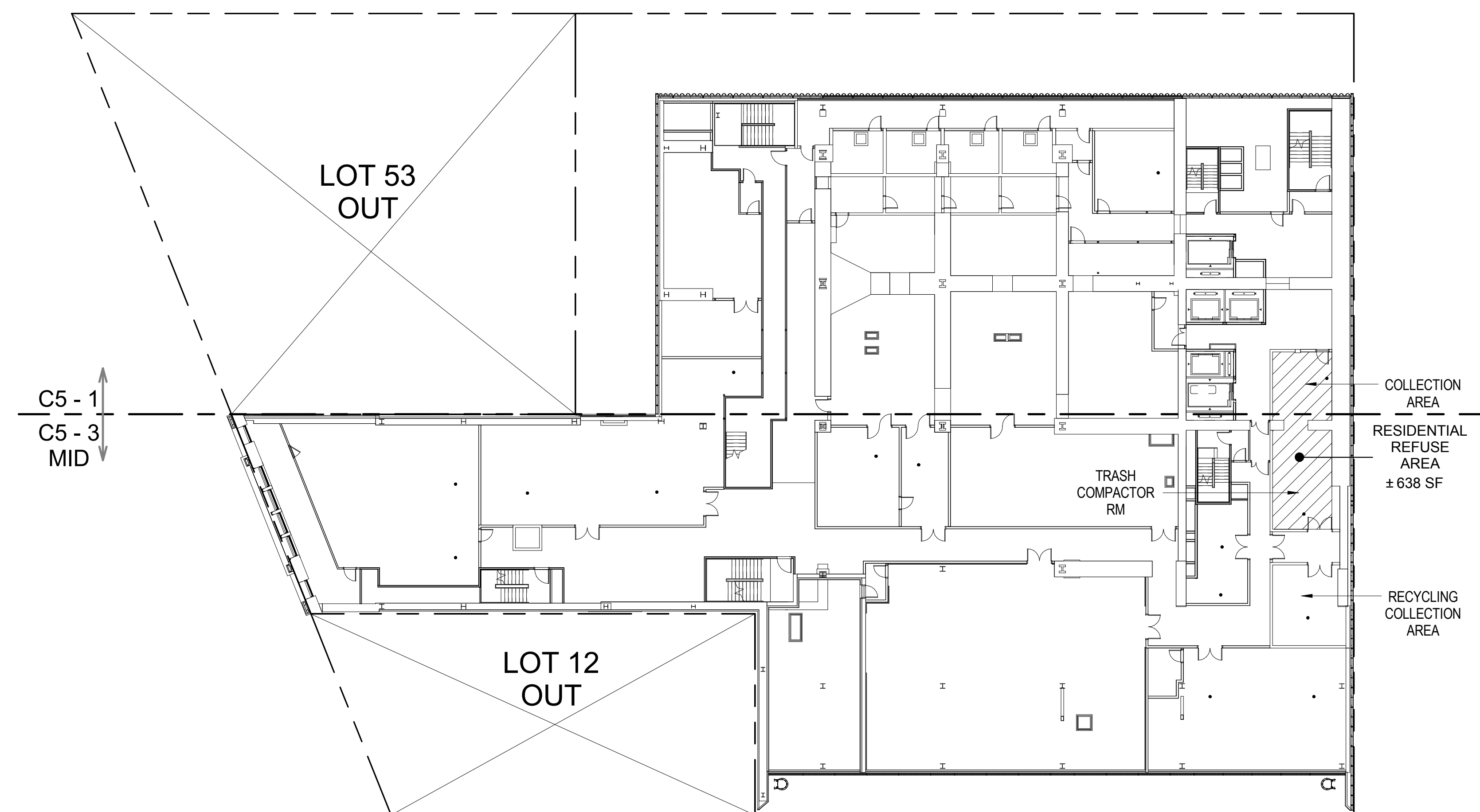
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**RETAIL CONTINUITY**

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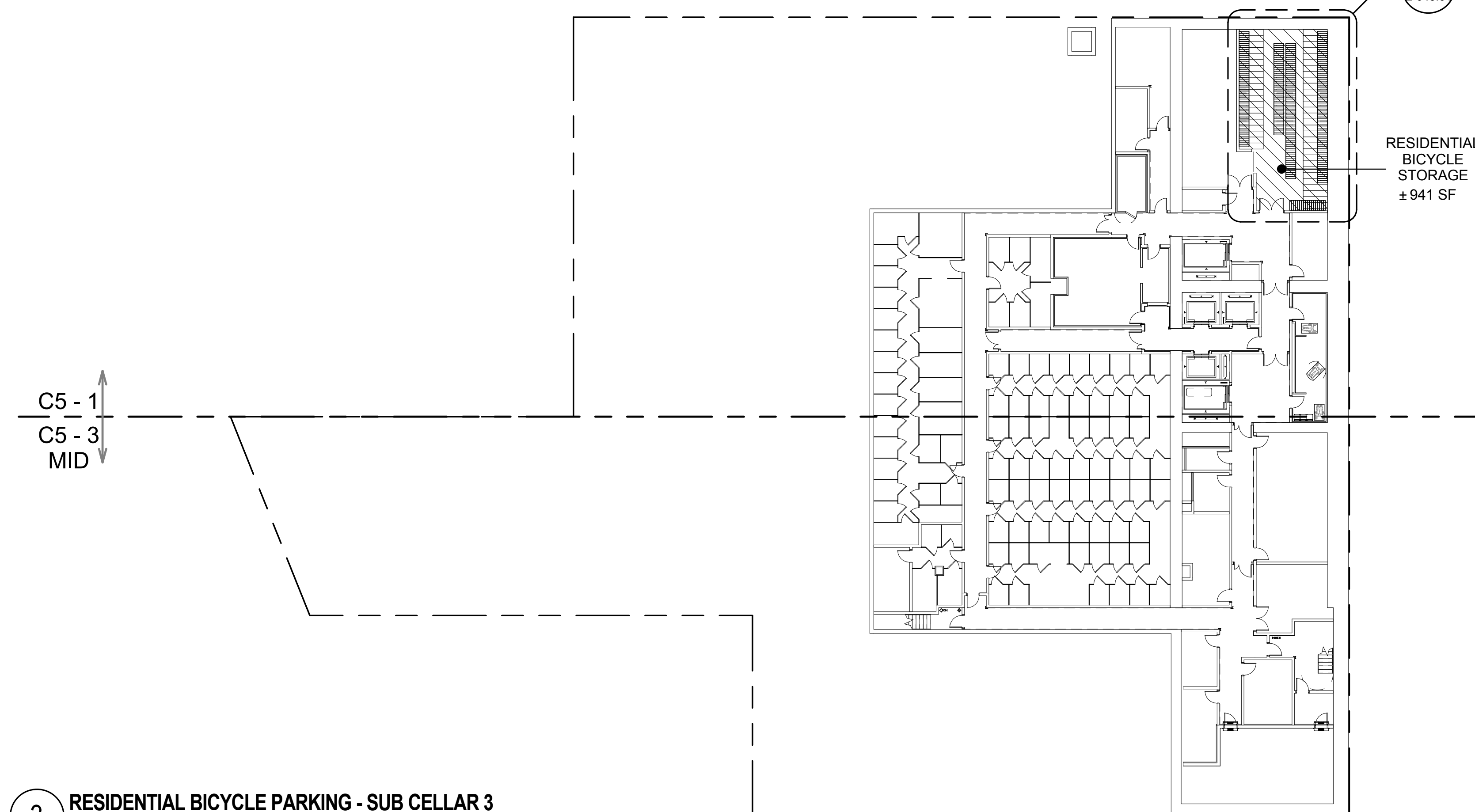
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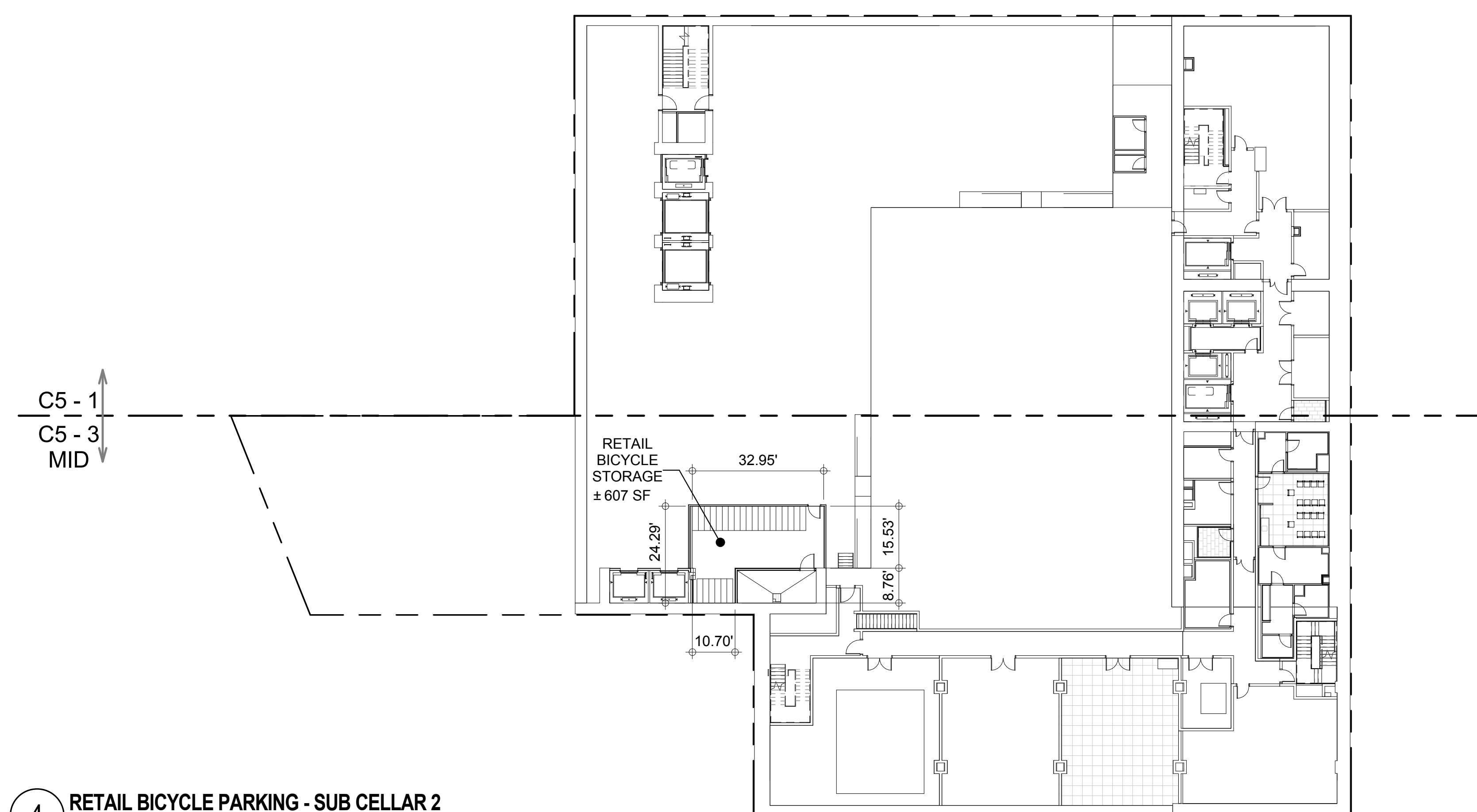




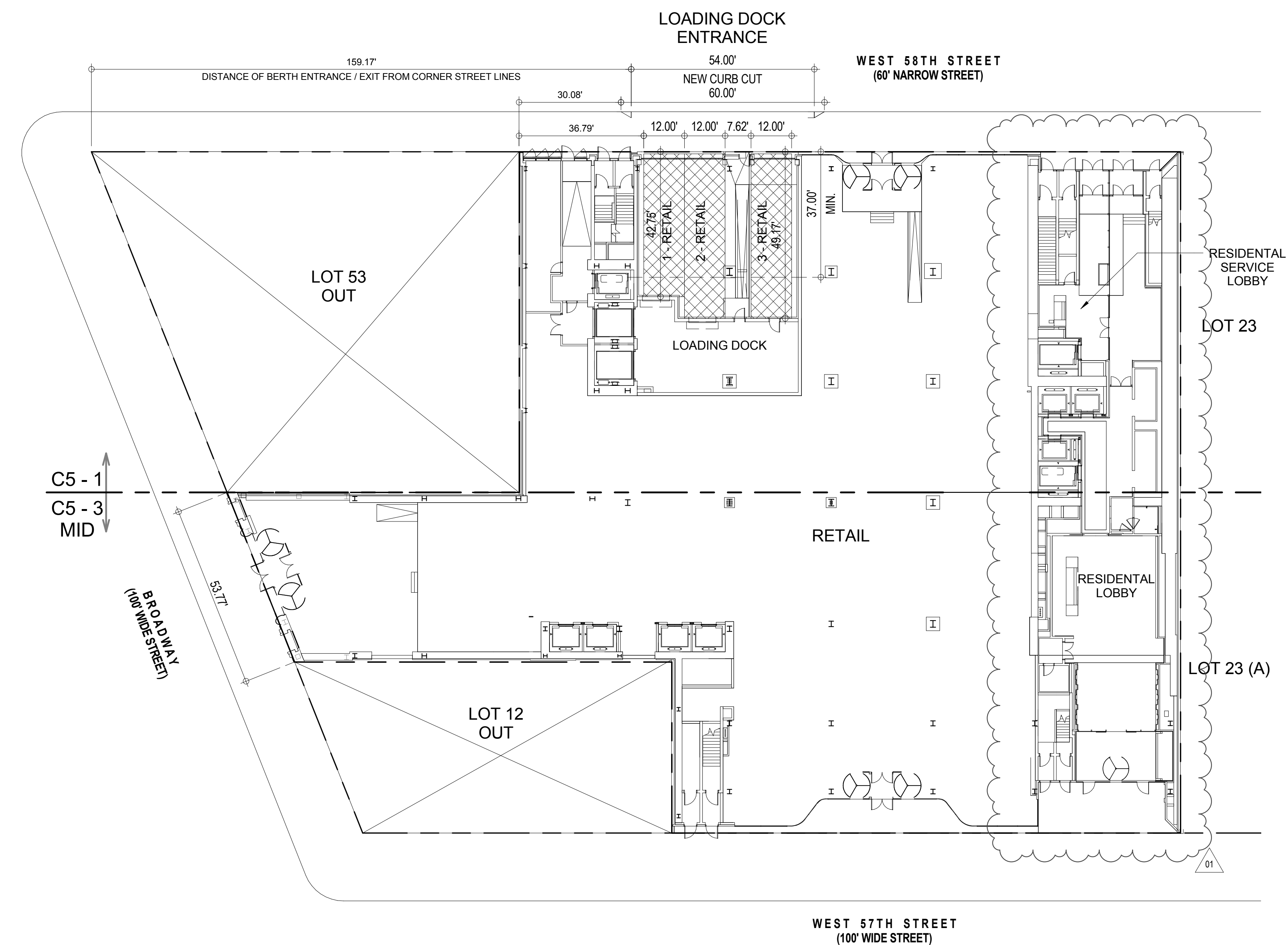
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3/64" = 1'-0"



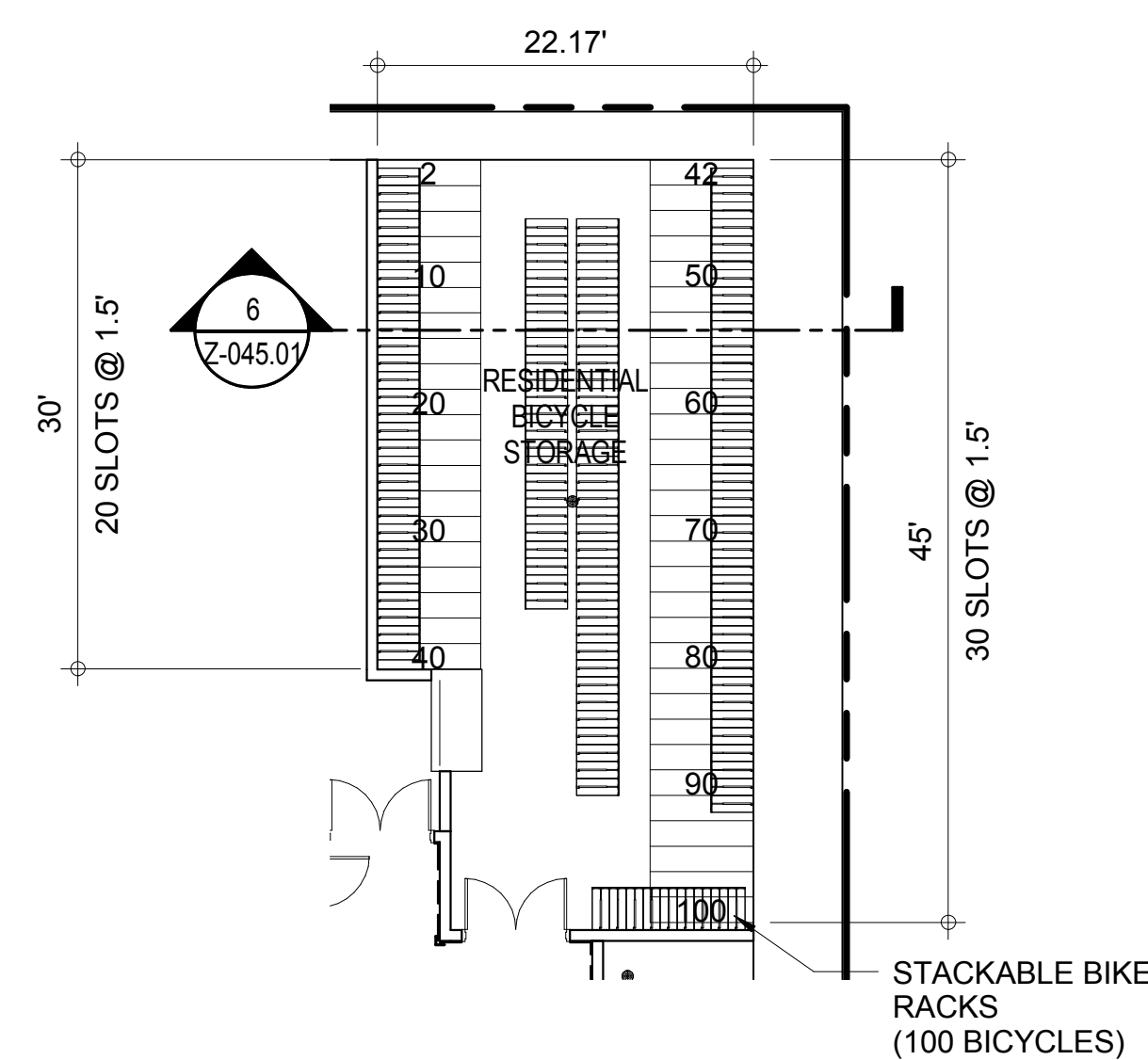
3 RESIDENTIAL BICYCLE PARKING - SUB CELLAR 3  
3/64" = 1'-0"



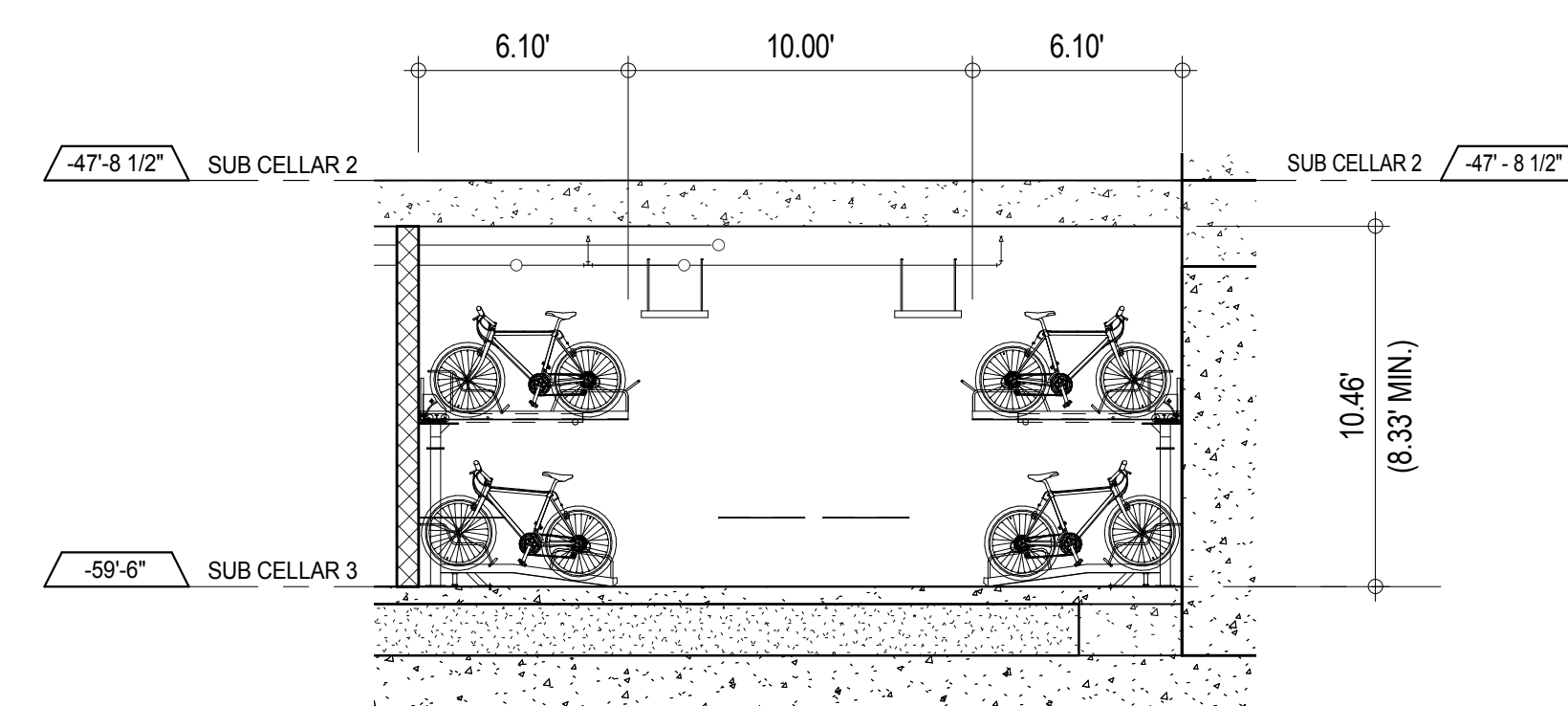
4 RETAIL BICYCLE PARKING - SUB CELLAR 2  
3/64" = 1'-0"



1 CURB CUT AND REQUIRED LOADING BERTHS - GROUND FLOOR  
3/64" = 1'-0"



5 PLAN DETAIL - RESIDENTIAL BICYCLE PARKING  
3/32" = 1'-0"



6 SECTION - RESIDENTIAL BICYCLE PARKING  
3/16" = 1'-0"

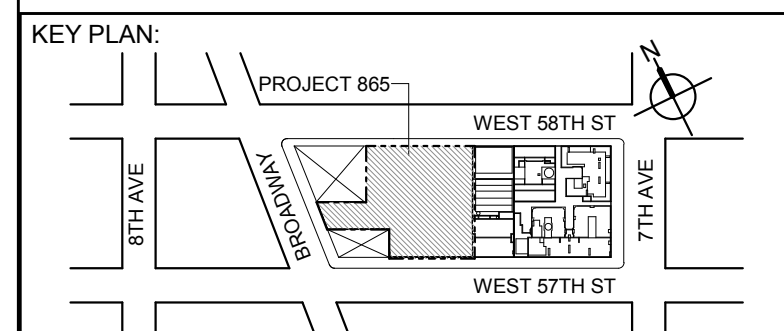
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26-00 37-00	<b>SPECIAL URBAN DESIGN REGULATIONS</b>	
26-15 81-44	<b>CURB CUTS</b> No curb cut on wide streets, one curb cut per zoning lot on Narrow Street. One Curb Cut provided for Narrow Street (West 58th) for Required Loading (see 1 / Z-045.01)	COMPLIES
26-16	<b>CENTRAL REFUSE STORAGE AREA</b> Compressed Garbage Area Requirements Refuse Area Required Refuse Area Provided	50 SF x (Lot Area / 10,000 SF) 50 SF x (44,686 SF / 10,000 SF) = 223 SF 638 SF (see 2 / Z-045.01) COMPLIES
36-681	<b>SIZE AND LOCATION OF REQUIRED BERTHS</b> Size of Berths for Commercial Uses Retail Berths Provided	Length X Width 37' X 12' 14' (see 1 / Z-045.01) COMPLIES
36-682	Location of Berth entrance and exit shall be more than 50 FT from the intersection of any two street lines Distance of Berth to intersection provided	159.17' (see 1 / Z-045.01) COMPLIES
36-70 36-73	<b>ENCLOSED BICYCLE PARKING</b> Required Bicycle Parking Required Bicycle Parking With Stackable Bike Racks i) Residential : 1 Bicycle per 2 Dwelling Units Residential Bicycle Parking Provided (With Stackable Racks - see 6 / Z-045.01) ii) Retail : 1 Bicycle / 10,000 SF Retail Bicycle Parking Provided	15 SF / Bicycle 9 SF / Bicycle 183 D.U. / 2 = 92 BICYCLES (92 X 9 SF) = 828 SF 941 SF (see 3 / Z-045.01) COMPLIES 244,134 SF / 10,000 = 25 BICYCLES (25 X 15 SF) = 375 SF 607 SF (see 4 / Z-045.01) COMPLIES Total Bicycle Parking Space Required Total Bicycle Parking Space Provided (92 X 9 SF) + (25 X 15 SF) = 1203 SF 941 SF + 607 SF = 1548 SF COMPLIES

#### LEGEND

- BICYCLE STORAGE
- REFUSE AREA
- LOADING BERTHS



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	D.O.B. AMENDMENT 1	24 JUL 15

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**AAI**  
ARCHITECTS, P.C.

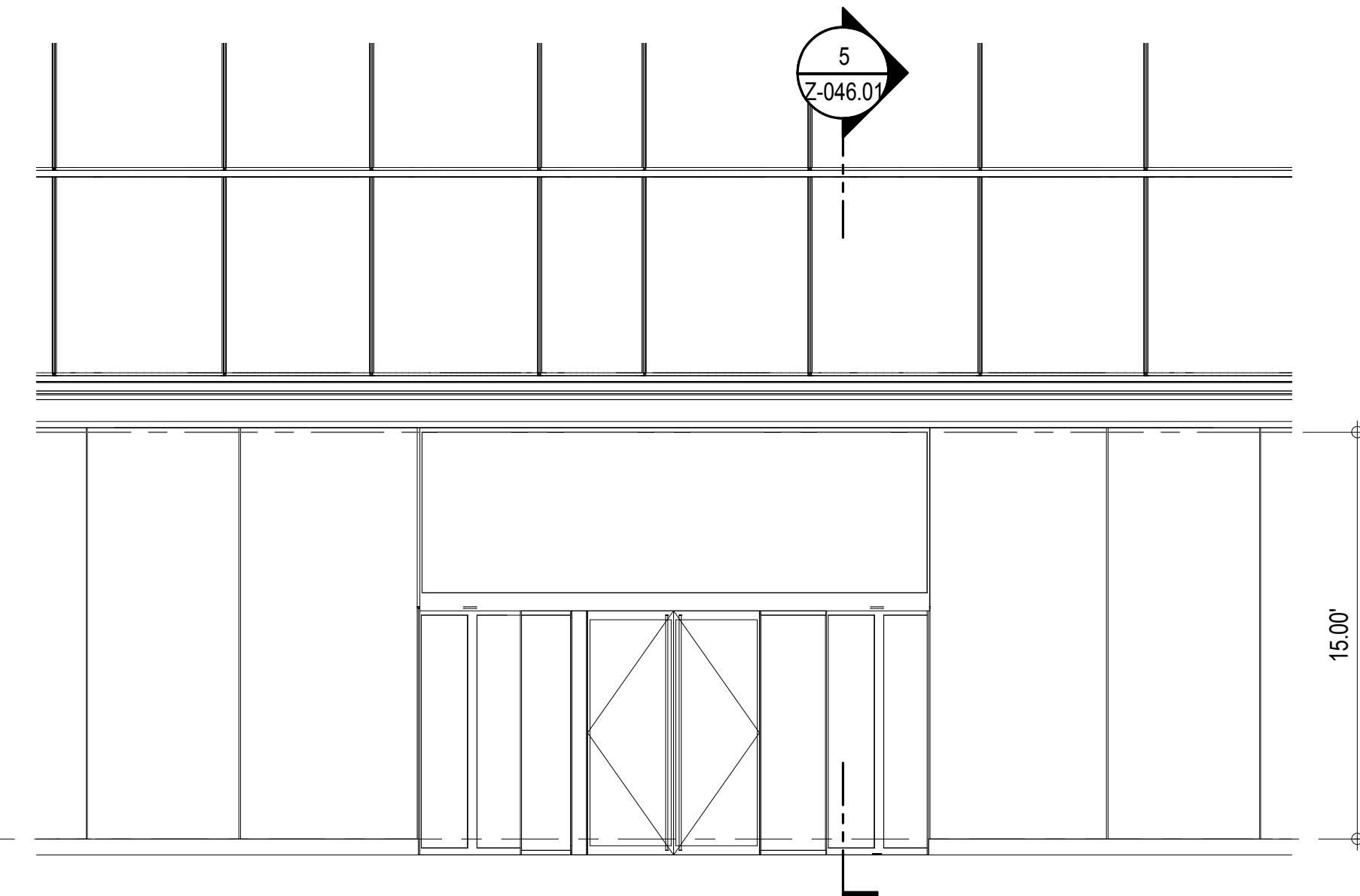
PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:  
**SPECIAL URBAN DESIGN  
REGULATIONS C5-1**

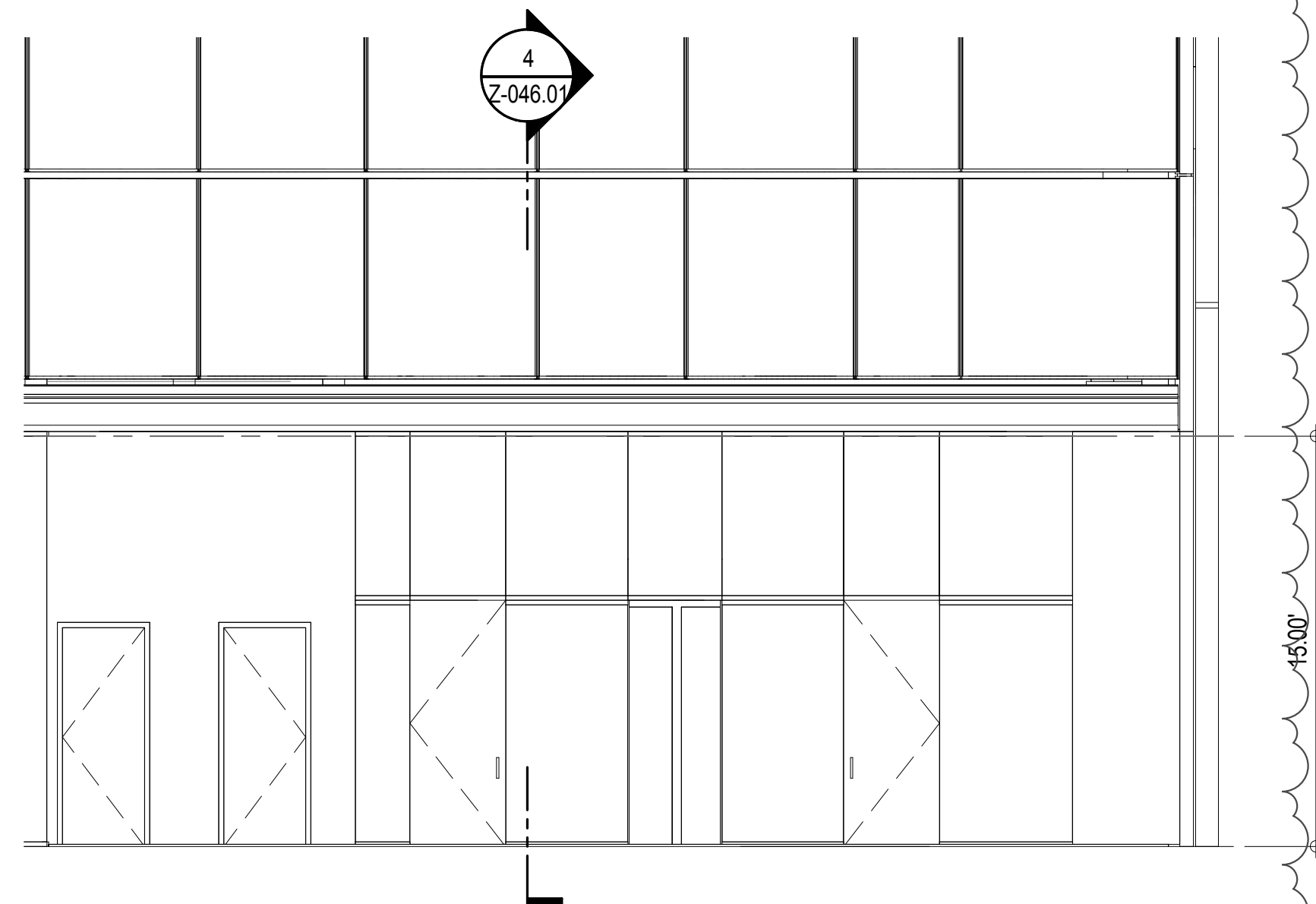
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PROJECT No: 1216-00  
DRAWN: Author  
CHK: Checker  
SCALE: As indicated  
DWG No: **Z-045.01**  
DOB PAGE No: DOB B-SCAN:

DOB EMPLOYEE STAMP:  
**Damian Titus**  
APPROVED  
Under Directive 2 of 1995  
ATTORNEY GENERAL'S OFFICE  
Date: 10/15/2015  
NYC Development Hub

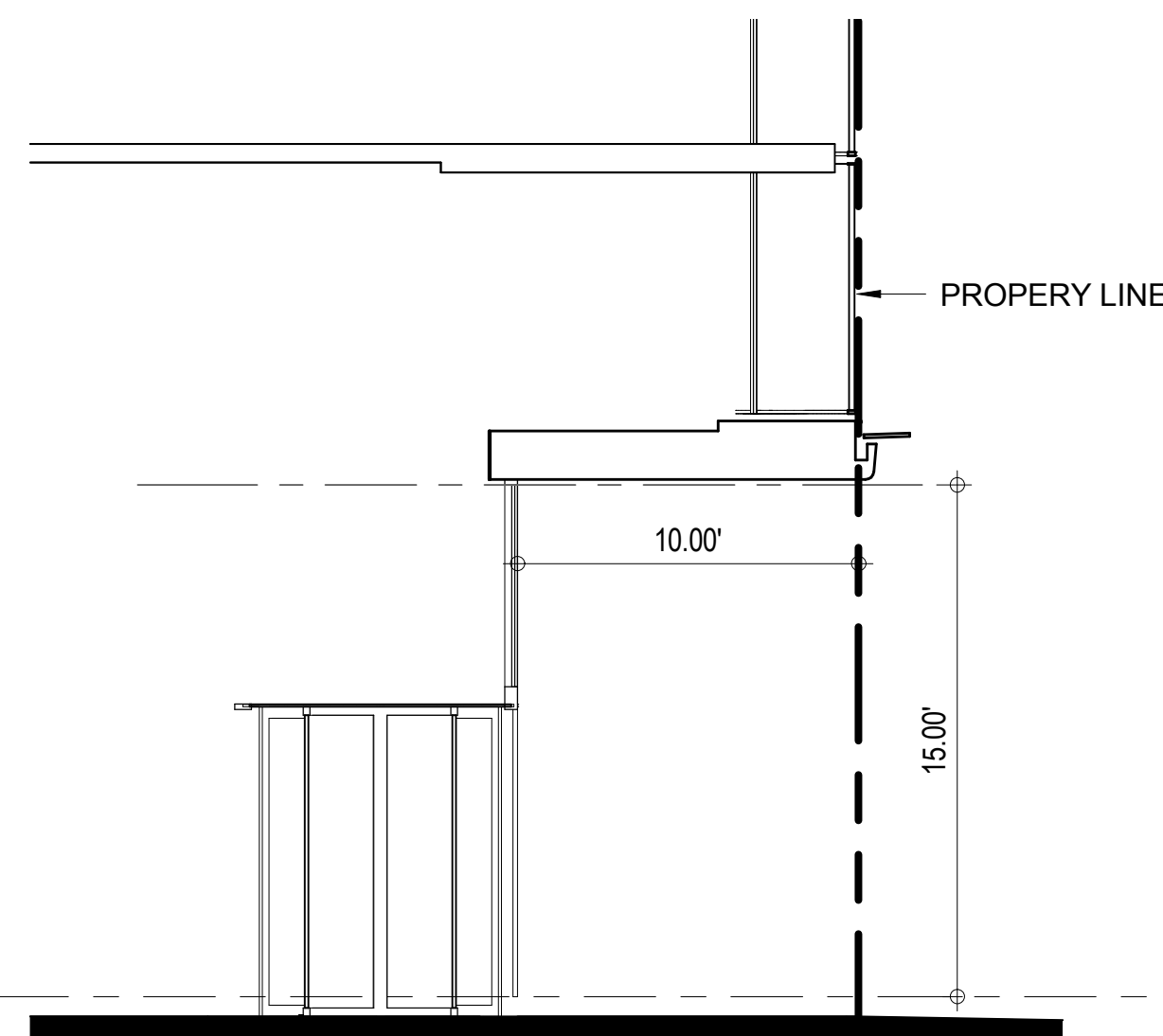




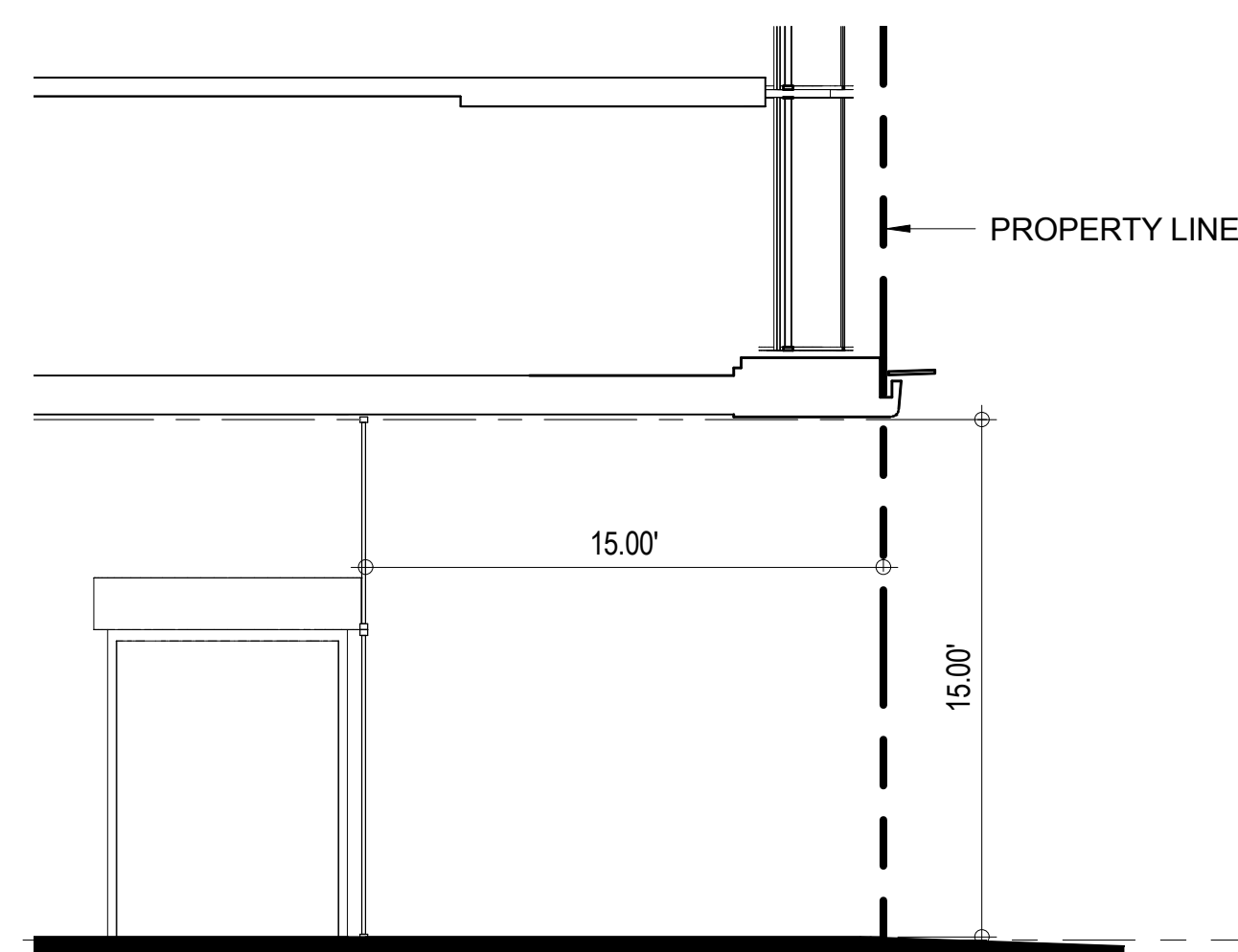
7 PARTIAL SOUTH ELEVATION  
3/16" = 1'-0"



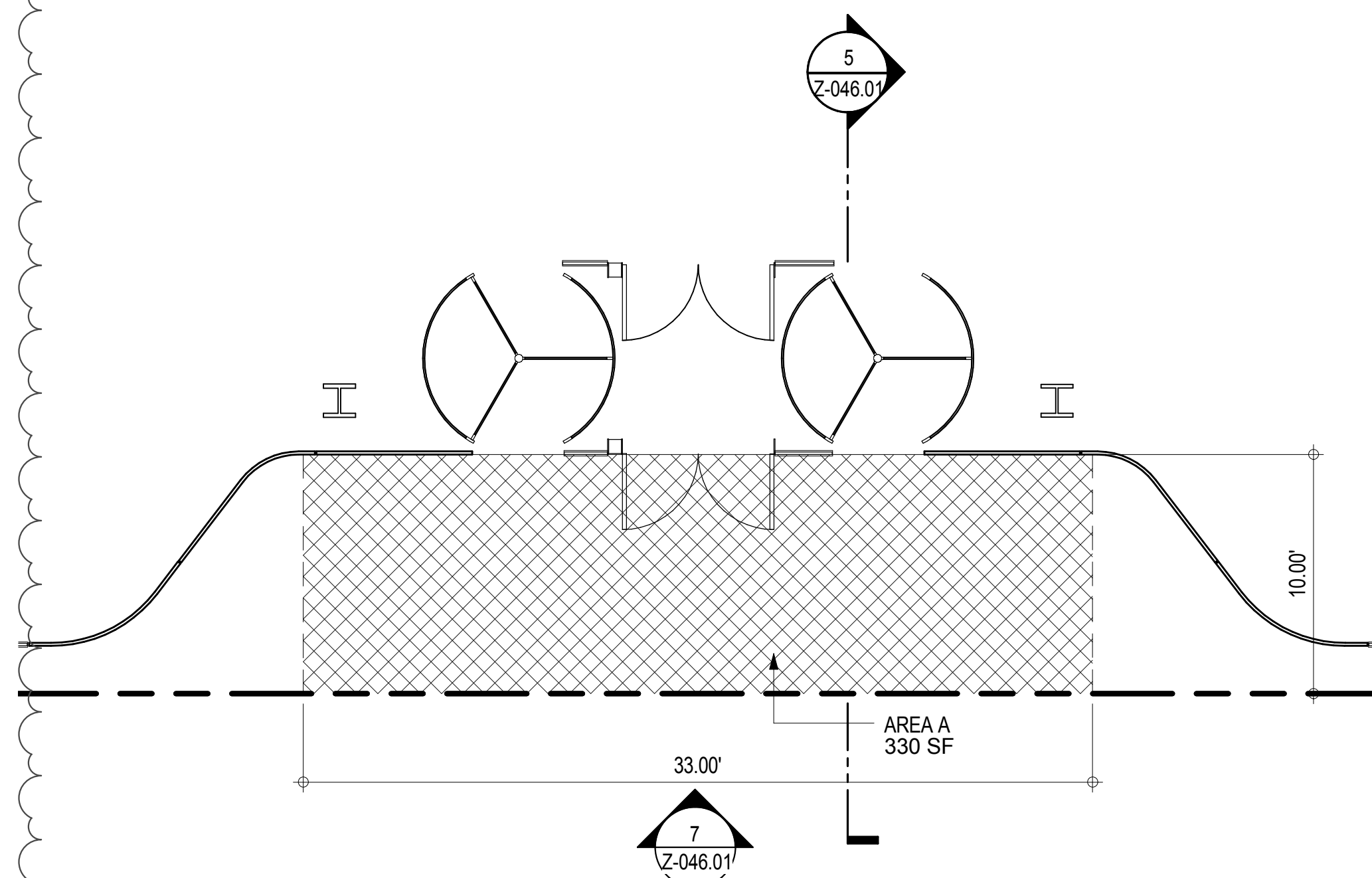
6 PARTIAL SOUTH ELEVATION  
3/16" = 1'-0"



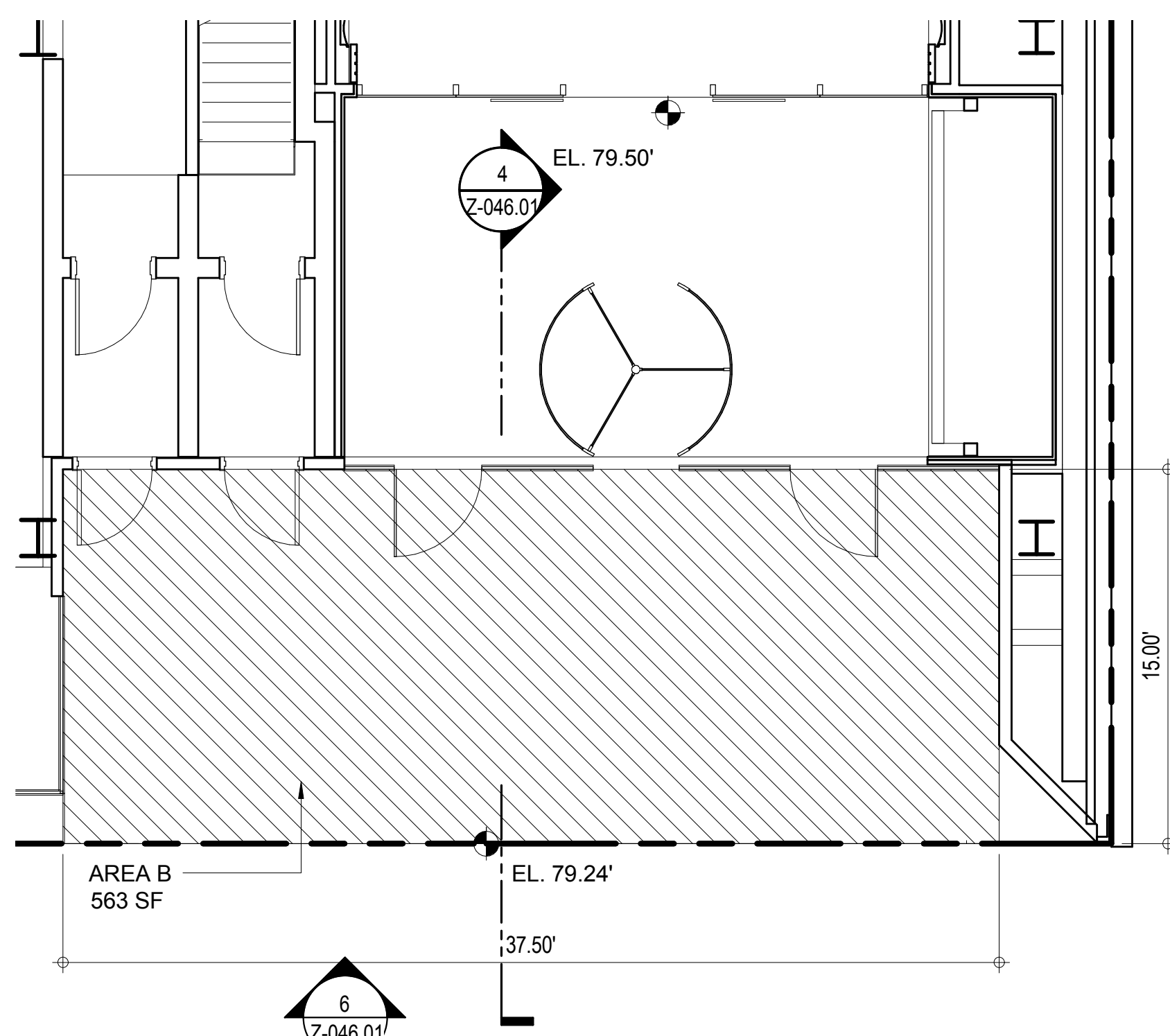
5 SECTION THRU - RETAIL MAJOR BUILDING ENTRANCE  
3/16" = 1'-0"



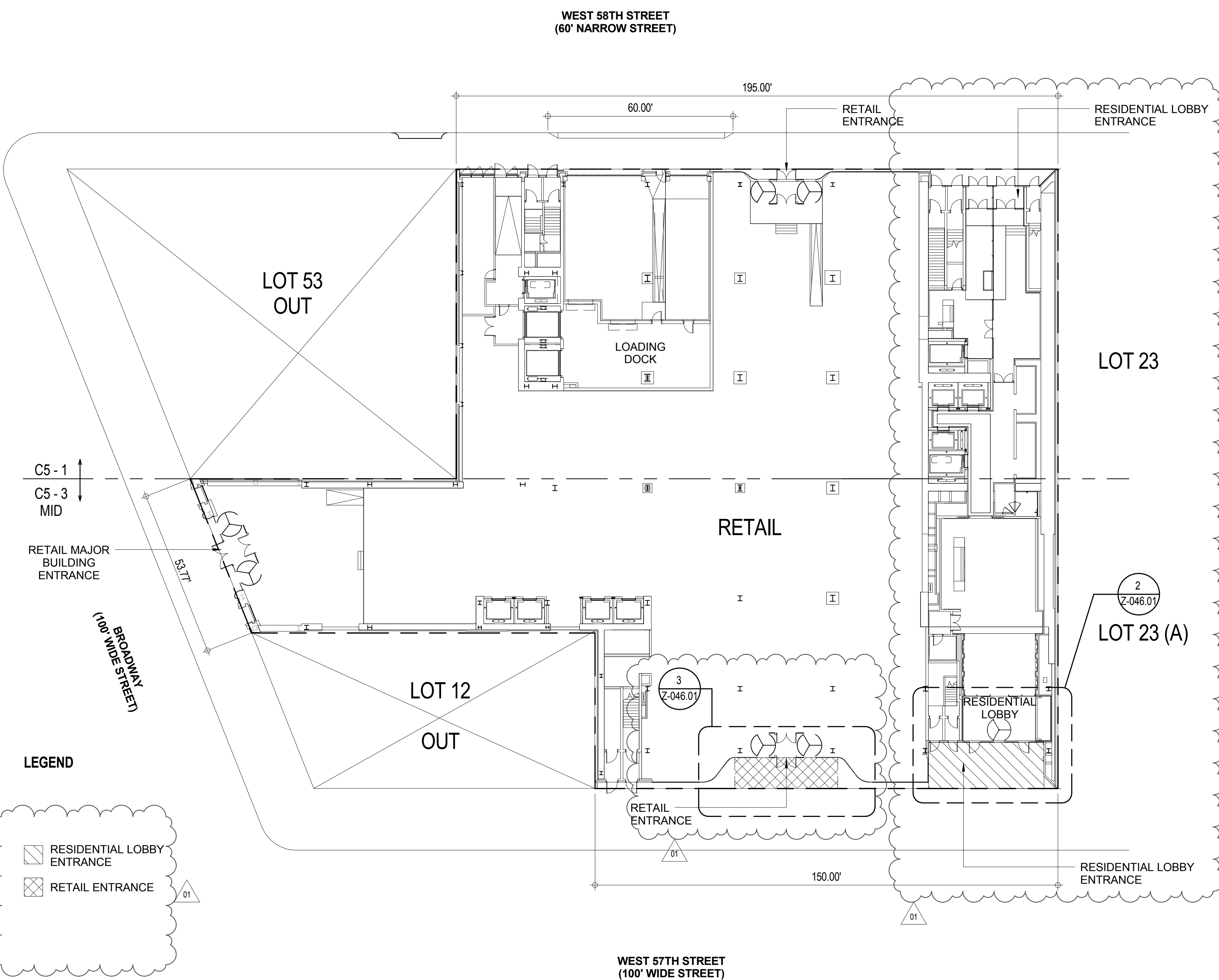
4 SECTION THRU - RESIDENTIAL MAJOR ENTRANCE  
3/16" = 1'-0"



3 RETAIL MAJOR BUILDING ENTRANCE - GROUND FLOOR  
3/16" = 1'-0"



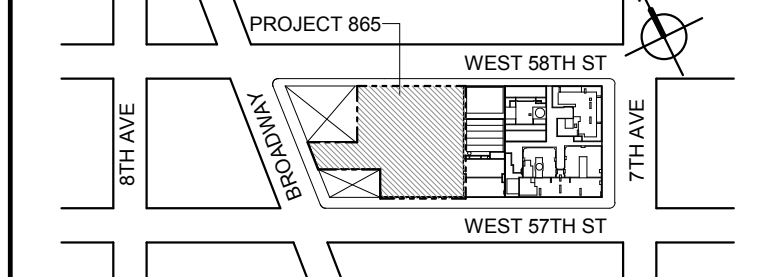
2 RESIDENTIAL MAJOR ENTRANCE - BUILDING ENTRANCE LOBBY  
3/16" = 1'-0"



1 GROUND FLOOR  
3/64" = 1'-0"

26-00 37-00		SPECIAL URBAN DESIGN REGULATIONS			
37-50 / 81-45		PEDESTRIAN CIRCULATION SPACE			
37-51	1) Minimum Pedestrian Circulation Space Pedestrian Circulation Space Required	1 SF / 300 SF of new F.A. 261,988 / 300 SF = 873 SF			
37-52 / 81-45	2) Pedestrian Circulation Space provided for a "Through Lot": i) Building Entrance Recess Area	Area A = 330 SF Area B = 562.5 SF			
Pedestrian Circulation Space Provided		330 SF + 562.5 SF = 892.5 SF (see 2 and 3 / Z-046.01) Note: Area A for Dept. store floor area of 98,719 SF requires 329SF of PCS. 330SF Provided.			COMPLIES
37-53 b)		Building Entrance Recess Area (Area A & B) Design Requirements			
Requirements		Compliance			
1) Dimensions		Min. - Max.	Provided-A	Provided-B	COMPLIES COMPLIES
Length		15' - 50'	33.00'	37.50'	
Width		10' - 15'	10.00'	15.00'	COMPLIES COMPLIES
Area		Length x Width =	330 SF	563 SF	
2) Obstructions		Minimum	Provided-A	Provided-B	COMPLIES NONE
Height		15'	15'	15'	
Other Obstructions					
3) Other Requirements		There are no overlaps. Connects directly to building uses (see 2 and 3 / Z-046.01)			
81-47 b)		MAJOR BUILDING ENTRANCES			
		1) Building entrances located on all major streets West 58th Street, Broadway and West 57th Street (See 1 / Z-046.01)			COMPLIES

## KEY PLAN



DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 17TH FLOOR  
New York, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
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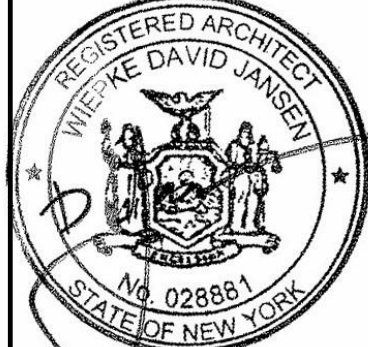
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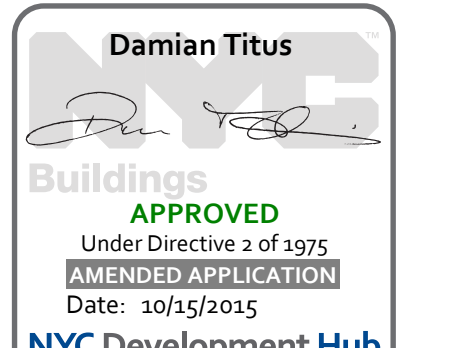
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**AAI**  
ARCHITECTS, P.C.

PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:  
**SPECIAL URBAN DESIGN REGULATIONS C5-3**


SEAL & SIGNATURE:  DATE: 05 DEC 14  
PROJECT No: 1216-00  
DRAWN: Author  
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DOB PAGE No: DOB B-SCAN:

DOB EMPLOYEE STAMP:  
 DATE: 30/12/2015  
APPROVED Under Directive # of 10/15  
NYC Development Hub



26-41	<b>STREETSCAPE TREE PLANTING</b>	
33-03	A) Required number of trees : One every 25ft of Street Frontage of the Zoning Lot	
26-41	Length of Street Frontage	445' + 53.77' + 400' + 200.84' = 1,099.61' (see schedule)
	Trees Required	18 + 2 + 16 + 8 = 44 Trees (see schedule)
	Existing Trees	2 Trees
	New Trees (On-Site)	0 + 0 + 0 + 0 = 0 Trees (see schedule)
	Trees Relocated (Off-Site)	16 + 2+16+ 8 = 42 Trees (see schedule)
	Trees Provided	2 Existing Trees + 0 New Trees (on-site) + 42 Relocated Trees (off-site) = 44 Trees      COMPLIES
	42 trees to be relocated as per provisions of section 26-41 (NYC DEPARTMENT OF PARKS AND RECREATION APPROVAL DATED 2014.01.17) DPR APP# 12631	



**Damian Titus**  
  
 Buildings  
**APPROVED**  
 Under Directive 2 of 1975  
**AMENDED APPLICATION**  
 Date: 10/15/2015  
 NYC Development Hub



GROUND FLOOR - OCCUPANT LOAD SUMMARY				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
58TH ST. RESIDENTIAL LOBBY	B	370 SF	100 SF	4
RES. MAIN ENTRANCE LOBBY	B	1,578 SF	100 SF	16
RES. SERVICE LOBBY	B	338 SF	100 SF	4
RETAIL ESA / FIRE ALARM	B	439 SF	100 SF	5
RETAIL	M	21,622 SF	30 SF	** 721
LOADING DOCK	S-1	3,481 SF	300 SF	12
Grand total				** 762

EXIT DOOR SUMMARY - BC TABLE 1005.1

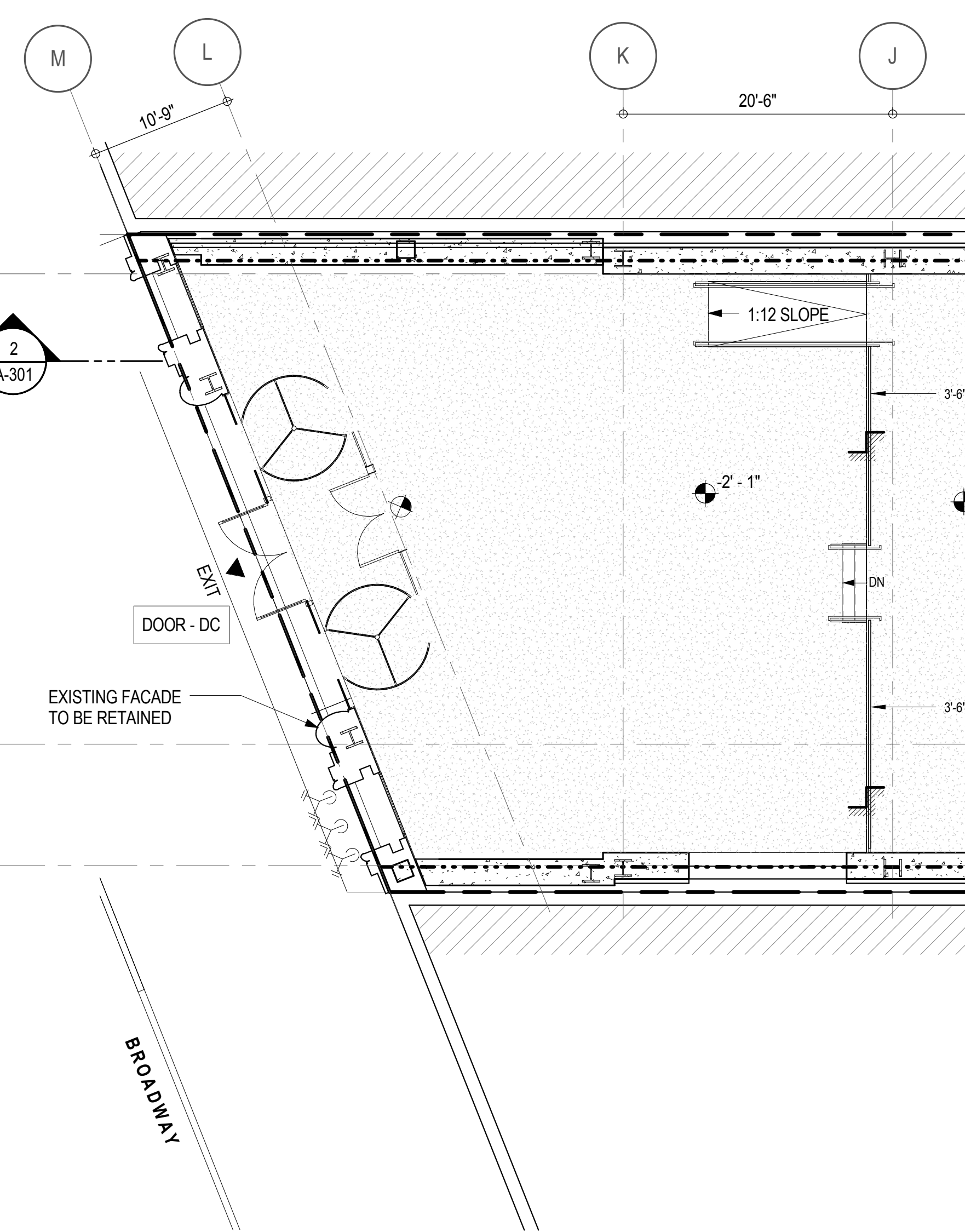
DOOR DESIGNATION	DOOR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	
			TOTAL (1540)	
STAIR - A - DOOR	34"	0.2	170	
STAIR - B - DOOR	34"	0.2	170	
STAIR - C - DOOR	40"	0.2	200	
STAIR - D - DOOR	40"	0.2	200	
STAIR - E - DOOR	40"	0.2	200	
STAIR - G - DOOR	40"	0.2	200	
STAIR - H - DOOR	40"	0.2	200	
STAIR - J - DOOR	40"	0.2	200	
STAIR - K - DOOR	34"	0.2	170	

EXIT DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY		DOOR LOAD TOTAL (745)
			TOTAL (2160)		
EXIT DOOR - DA	72"	0.2	360	** 240	
EXIT DOOR - DB	72"	0.2	360	** 240	
EXIT DOOR - DC	72"	0.2	360	** 241	
EXIT DOOR - DD	72"	0.2	360	16	
EXIT DOOR - DE	36"	0.2	180	8	
EXIT DOOR - DF	36"	0.2	180	8	
EXIT DOOR - DG	36"	0.2	180	4	
EXIT DOOR - DH	36"	0.2	180	4	

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1015.3)	DEAD END (BC 1015.3)
M	200'	75'	20'
S-1	200'	100'	20'
B	300'	100'	50'



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

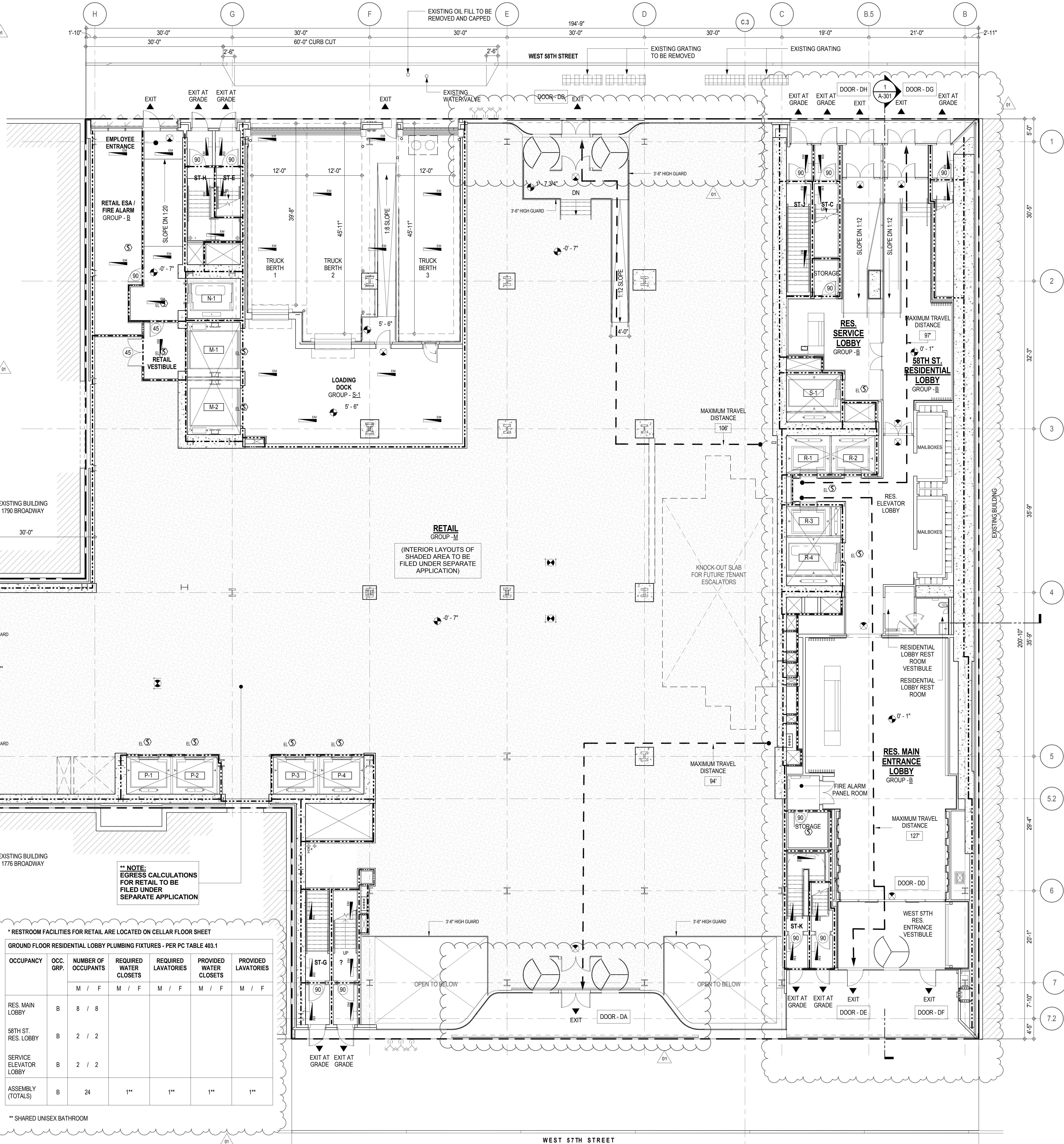
⬇	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	STANDPIPE
⬇	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	SPRINKLER RISER
⬆	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	SIAMESE CONNECTION
⬆	ILLUMINATED EXIT SIGN	⬆	SMOKE DETECTOR
⬆	FIRE EXTINGUISHER CABINET	⬆	SMOKE / CARBON MONOXIDE DETECTOR
⬆	SPRINKLER HEAD (REFER TO FP DRAWINGS)	⬆	CEILING MOUNTED EMERGENCY LIGHT
		⬆	WALL MOUNTED EMERGENCY LIGHT
		90	DOOR RATING (MINUTES)

\* RESTROOM FACILITIES FOR RETAIL ARE LOCATED ON CELLAR FLOOR SHEET

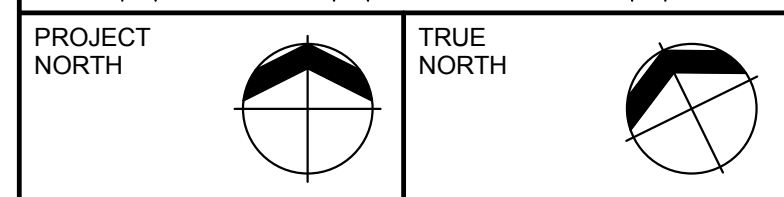
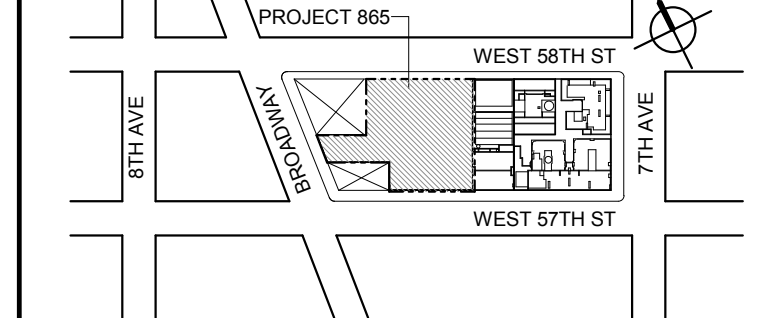
GROUND FLOOR RESIDENTIAL LOBBY PLUMBING FIXTURES - PER PC TABLE 403.1

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS	REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
			M	F	M	F	M	F	M	F
RES. MAIN LOBBY	B	8 / 8								
58TH ST. RES. LOBBY	B	2 / 2								
SERVICE ELEVATOR LOBBY	B	2 / 2								
ASSEMBLY (TOTALS)	B	24	1**	1**	1**	1**				

\*\* SHARED UNISEX BATHROOM



KEY PLAN



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6 D.O.B. SUBMISSION 27 APR 15

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EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (600)	TOTAL (0)
STAIR - A	60"	0.3	200	0
STAIR - B	60"	0.3	200	0
STAIR - E	60"	0.3	200 *	0
STAIR - F	44"	0.3	146 *	0

\*STAIR E &amp; STAIR F MERGE TOGETHER @ GROUND INTERMEDIATE STAIR TRANSFER FLOOR. THE TOTAL EXIT CAPACITY TO BE (200).

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

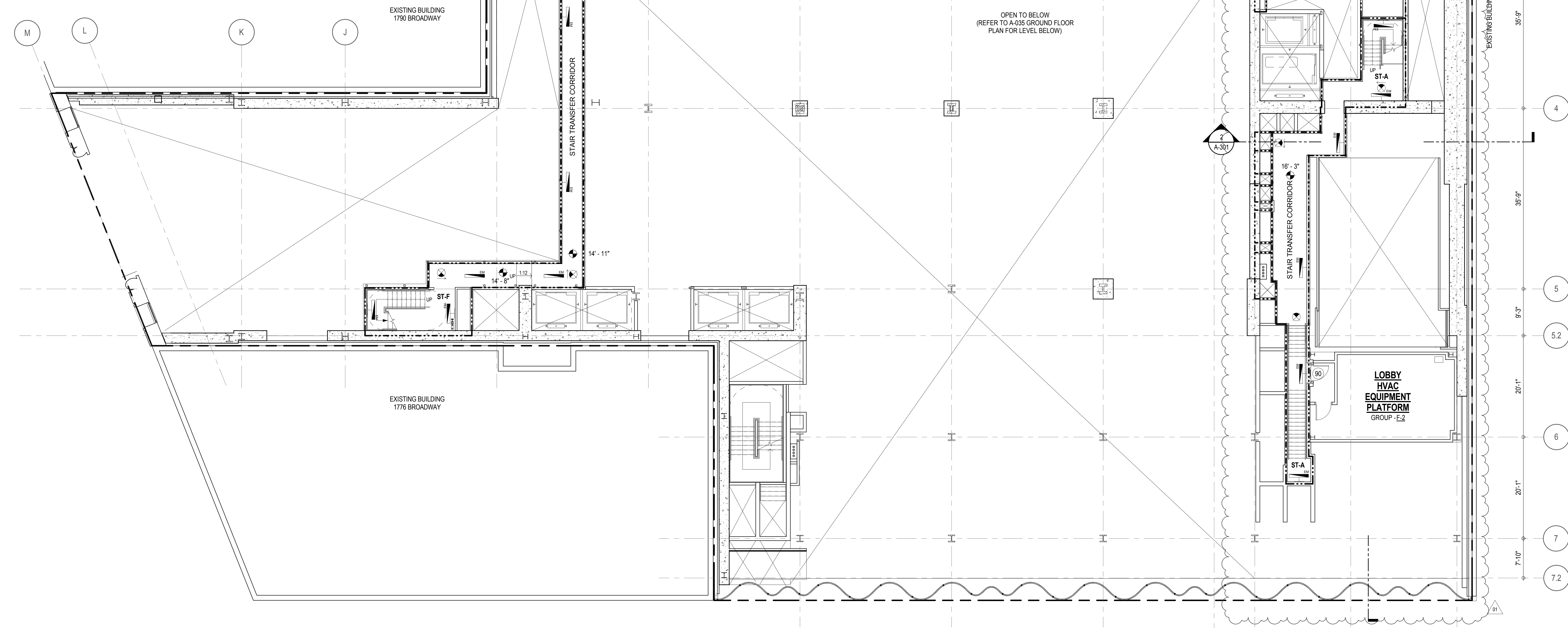
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (600)	TOTAL (0)
STAIR - A - DOOR	40"	0.2	200	0
STAIR - B - DOOR	40"	0.2	200	0
STAIR - E - DOOR	40"	0.2	200 *	0
STAIR - F - DOOR	34"	0.2	170 *	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	11"	7.5"	24	135.00"
STAIR - B	11"	7.57"	24	138.00"
STAIR - E	11"	6.88"	24	55.00"
STAIR - F	11"	6.89"	18	62.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'



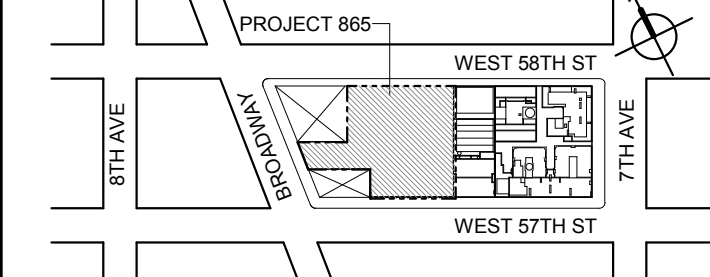
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
- - - - -	TWO HOUR RATED PARTITION	.....	DEAD END
- . - . - .	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
- - - - -	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

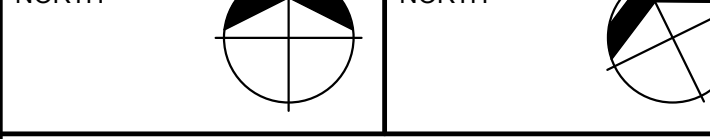
SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FIRE EXTINGUISHER CABINET		SMOKE DETECTOR
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO FP DRAWINGS)		SMOKE / CARBON MONOXIDE DETECTOR
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE		CEILING MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		SPRINKLER RISER		WALL MOUNTED EMERGENCY LIGHT
			SIAMESE CONNECTION		DOOR RATING (MINUTES)

KEY PLAN:



PROJECT NORTH



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CONSULTANT:



PROJECT:

**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:

**GROUND FLOOR INTERMEDIATE  
STAIR TRANSFER FLOOR PLAN**  
BUILDING CODE NOTES

SEAL &amp; SIGNATURE:

DATE: 15 OCT 14  
PROJECT No: 1216-00  
DRAWN: Author  
CHK: Checker  
REV: 6  
SCALE: 1/8" = 1'-0"

DWG No:

**A-036.01**

DOB EMPLOYEE STAMP:

DOB PAGE No:

DOB B-SCAN:

**APPROVED**

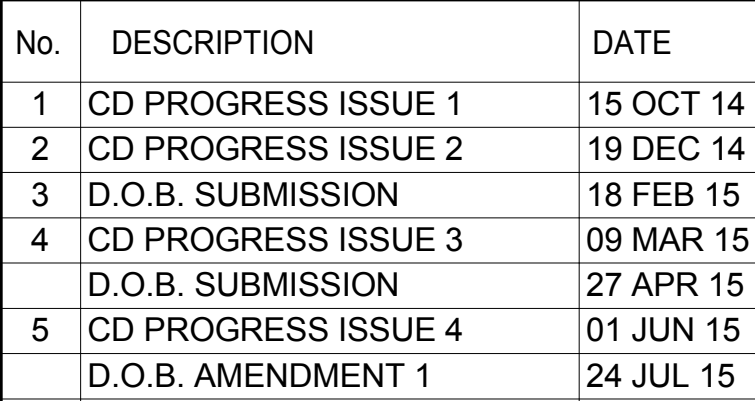
Under Directive 2 of 1995

ATTORNEY AT LAW

Date: 10/15/2015

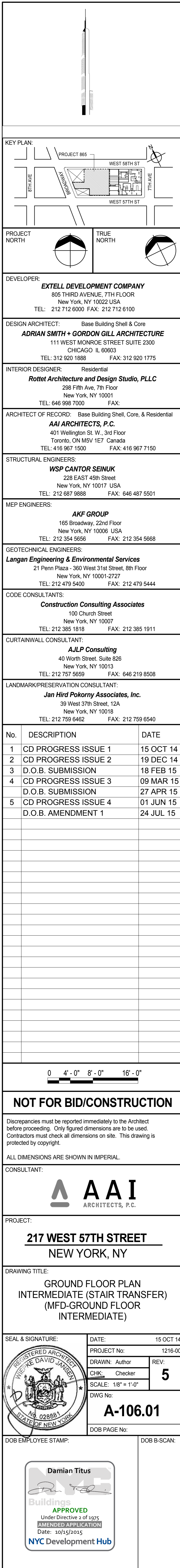
NYC Development Hub



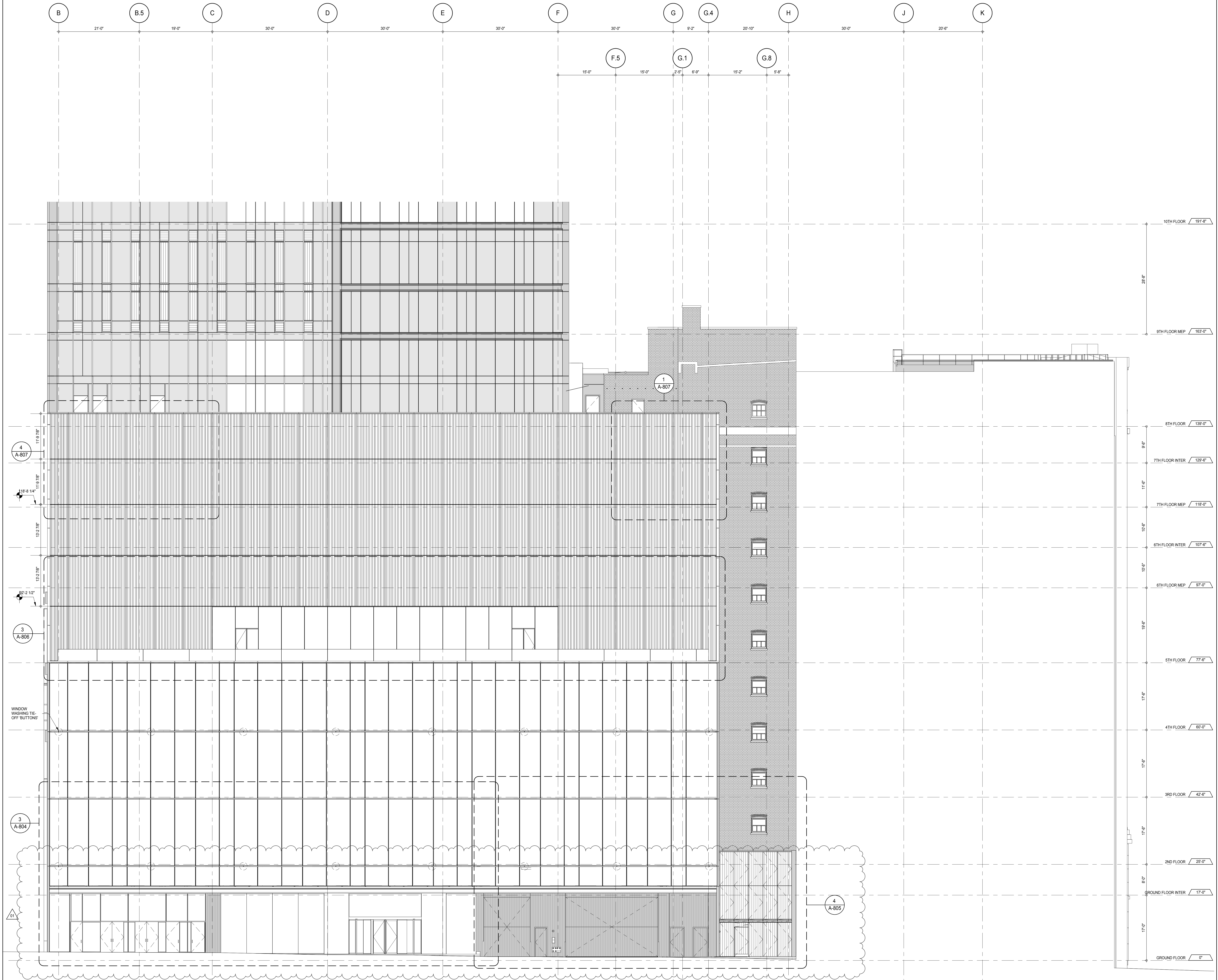


--	--









PARTIAL ELEVATION - NORTH  
1

KEY PLAN

PROJECT NORTH

DEVELOPER:

**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential  
**Rottet Architecture and Design Studio, PLLC**  
288 Fifth Ave, 7th Floor  
New York, NY 10001  
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential  
**AAI ARCHITECTS, P.C.**  
401 Wellington St. W., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

**WSP CANTOR SEINUK**  
228 EAST 45th Street  
New York, NY 10017 USA  
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:

**AKF GROUP**  
165 Broadway, 22nd Floor  
New York, NY 10006 USA  
TEL: 212 354 5555 FAX: 212 354 5568

GEOTECHNICAL ENGINEERS:

**Langan Engineering & Environmental Services**  
21 Penn Plaza - 360 West 51st Street, 8th Floor  
New York, NY 10001-2722  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

**AJLP Consulting**  
40 Worth Street, Suite 826  
New York, NY 10013  
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

**Jan Hird Pokorny Associates, Inc.**  
39 West 37th Street, 12A  
New York, NY 10018  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:

**AAI**  
ARCHITECTS, P.C.

PROJECT:

**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:

**PARTIAL ELEVATION - NORTH**

SEAL & SIGNATURE

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-0"

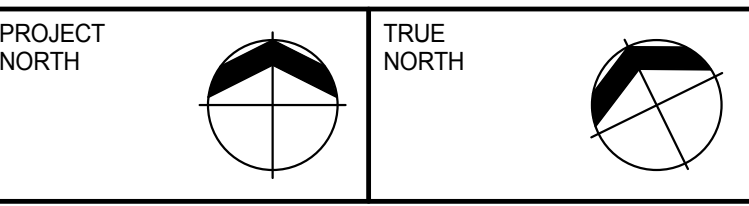
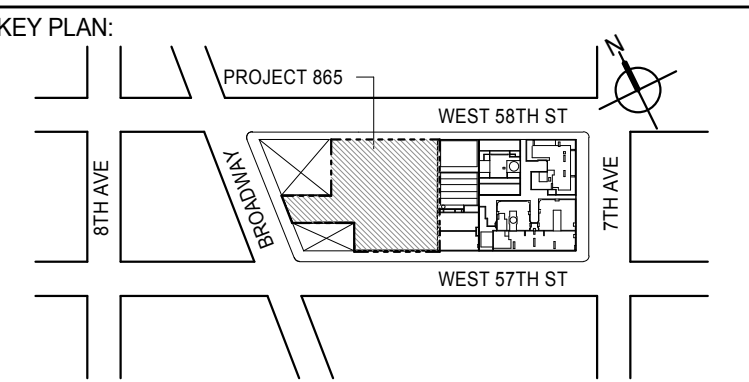
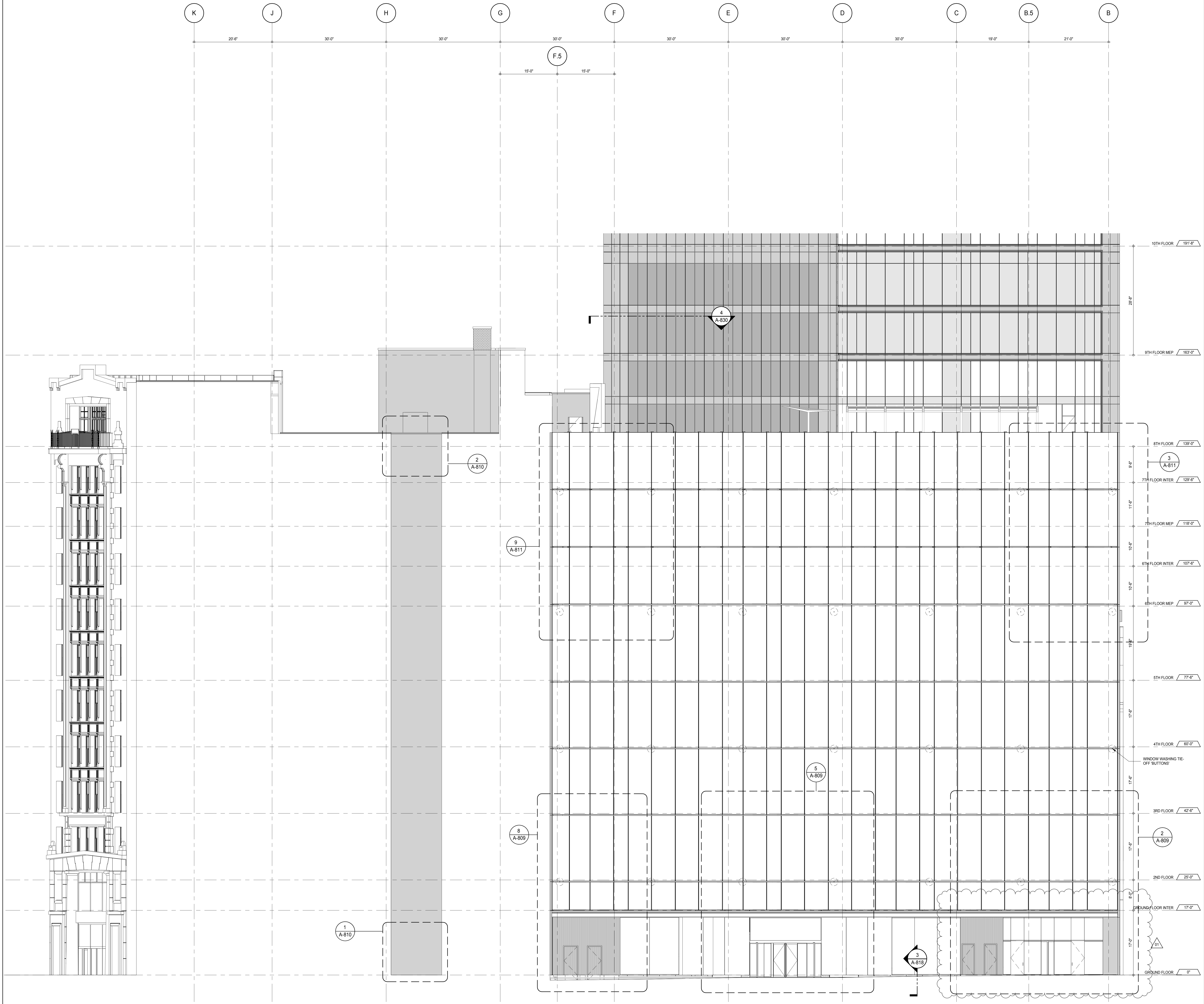
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DOB PAGE No:

DOB EMPLOYEE STAMP:

DOB 5-SCAN:





DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
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CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

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New York, NY 10006 USA  
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21 Penn Plaza - 300 West 57th Street, 8th Floor  
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TEL: 212 479 5400 FAX: 212 479 5444

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5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

0 4' - 0" 8' - 0" 16' - 0"

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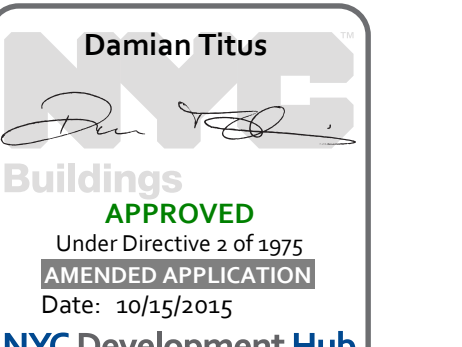


PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:  
**PARTIAL ELEVATION - SOUTH**

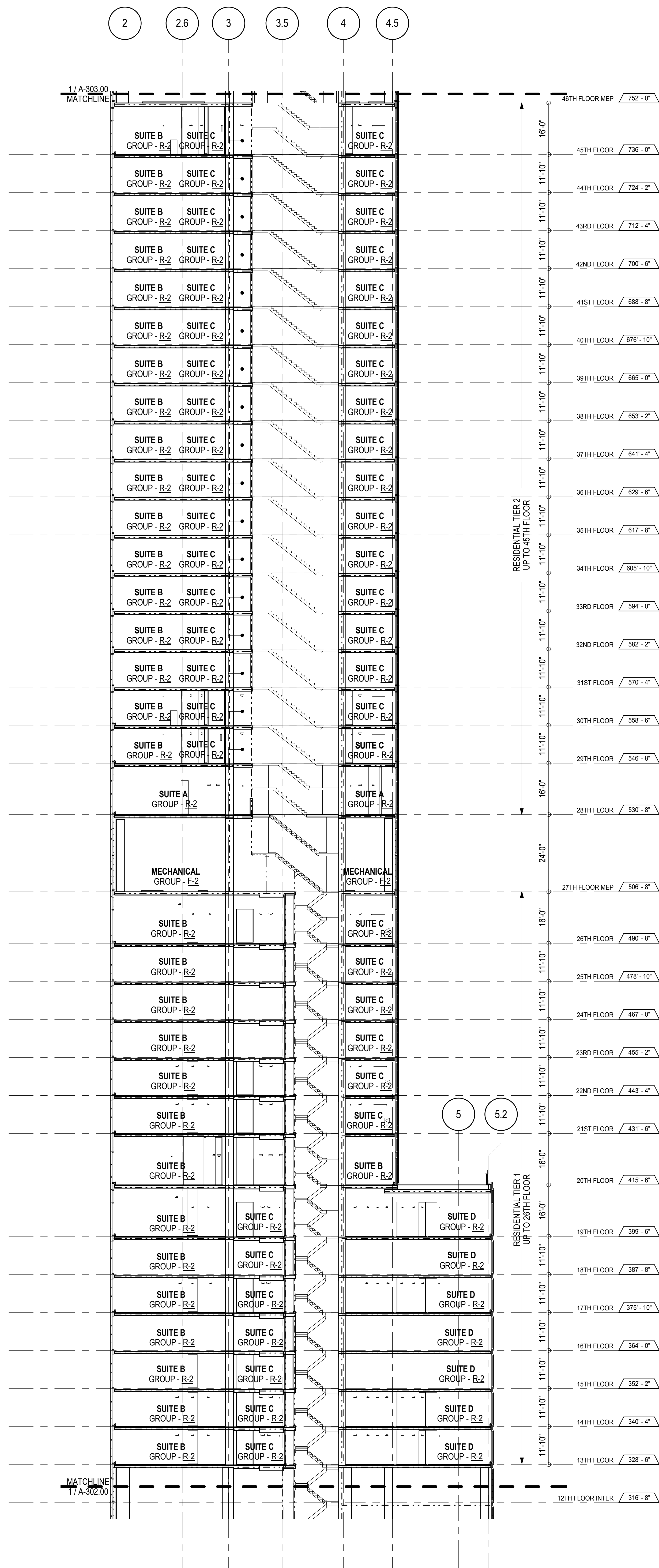
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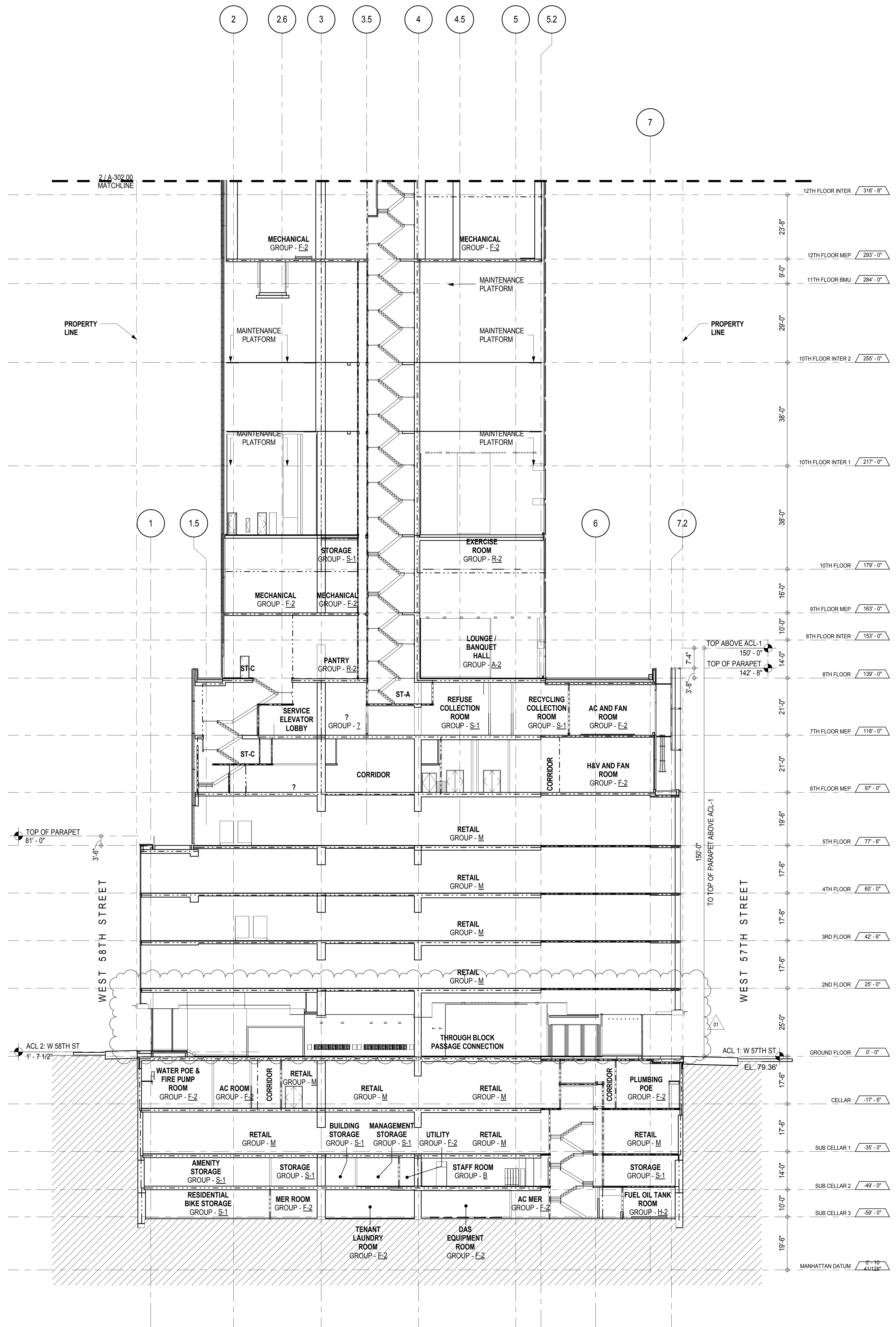


APPROVED  
Under Directive 2 of 1995  
ATTORNEY GENERAL'S OFFICE  
Date: 10/15/2015  
NYC Development Hub

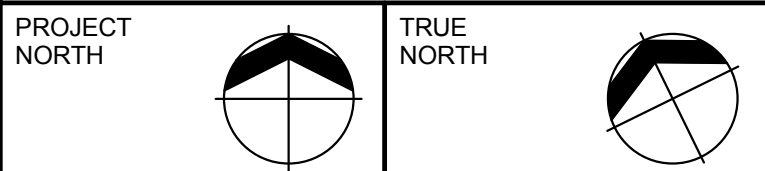
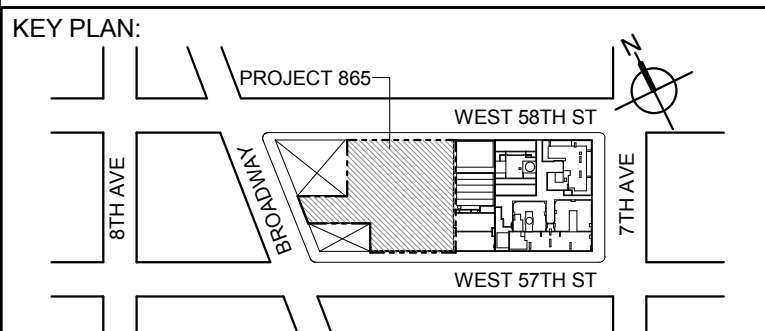




2 NORTH-SOUTH BUILDING SECTION - 12TH TO 45TH FLOORS  
A-301  
1/8" = 1'-0"



1 NORTH-SOUTH BUILDING SECTION - SUB CELLAR 3 TO 11TH FLOOR  
A-301  
1/8" = 1'-0"



DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 17TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**AAI ARCHITECTS, P.C.**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core  
**AAI ARCHITECTS, P.C.**  
401 Wellington St. W. 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:  
**WSP CANTOR SENUK**  
228 EAST 48th Street  
New York, NY 10017 USA  
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
1501 Broadway  
New York, NY 10036 USA  
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Fern Plaza - 380 West 31st Street, 8th Floor  
New York, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 828  
New York, NY 10013  
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Higgins Quasbarth & Partners LLC**  
11 Hanover Square, 16th Floor  
New York, NY 10005  
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
39 West 57th Street, 12A  
New York, NY 10018  
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	D.O.B. SUBMISSION	05 DEC 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

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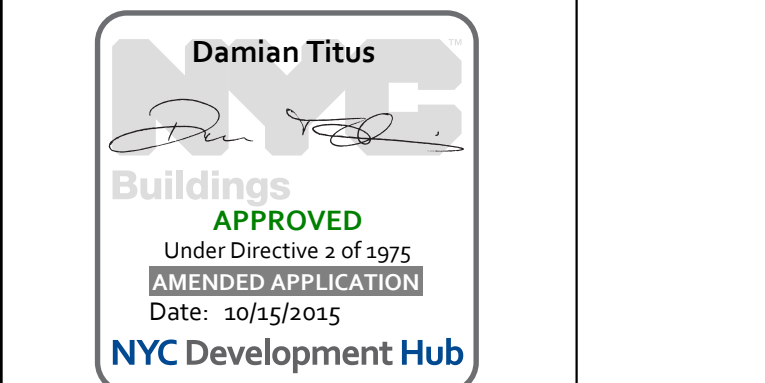
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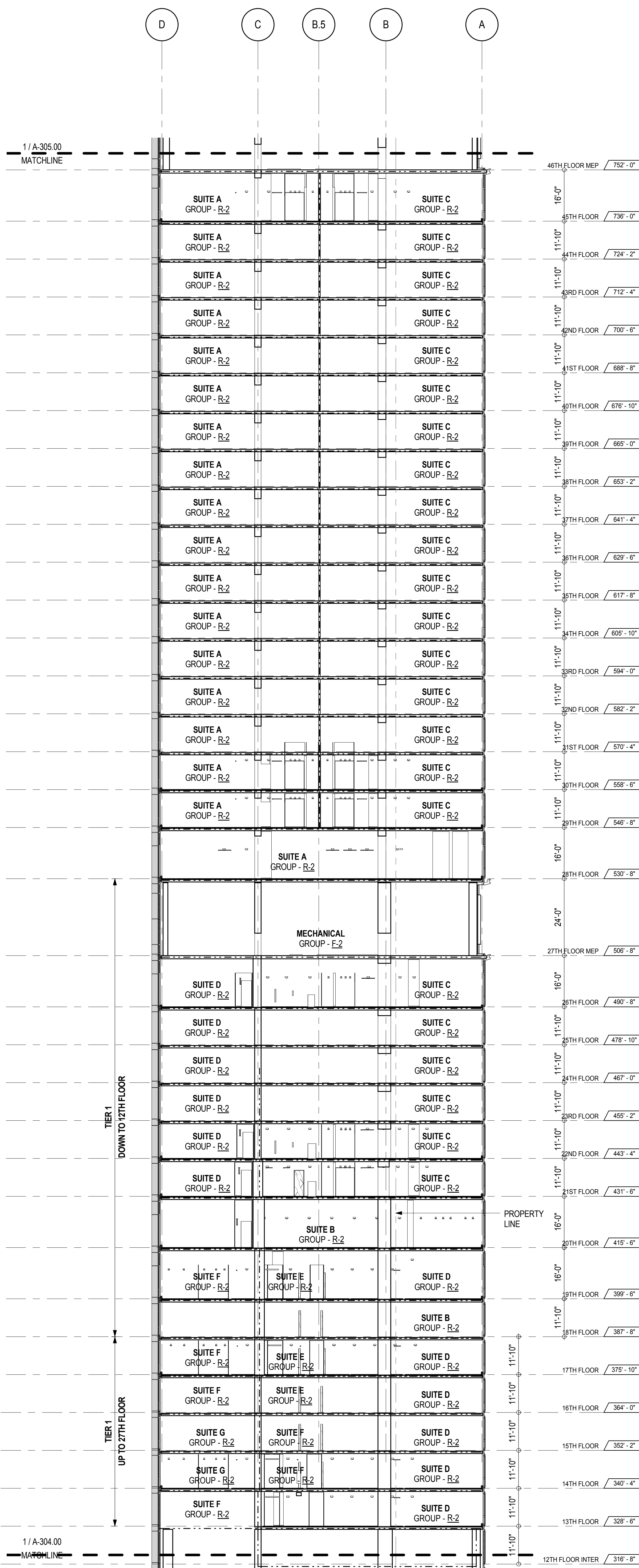
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**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:  
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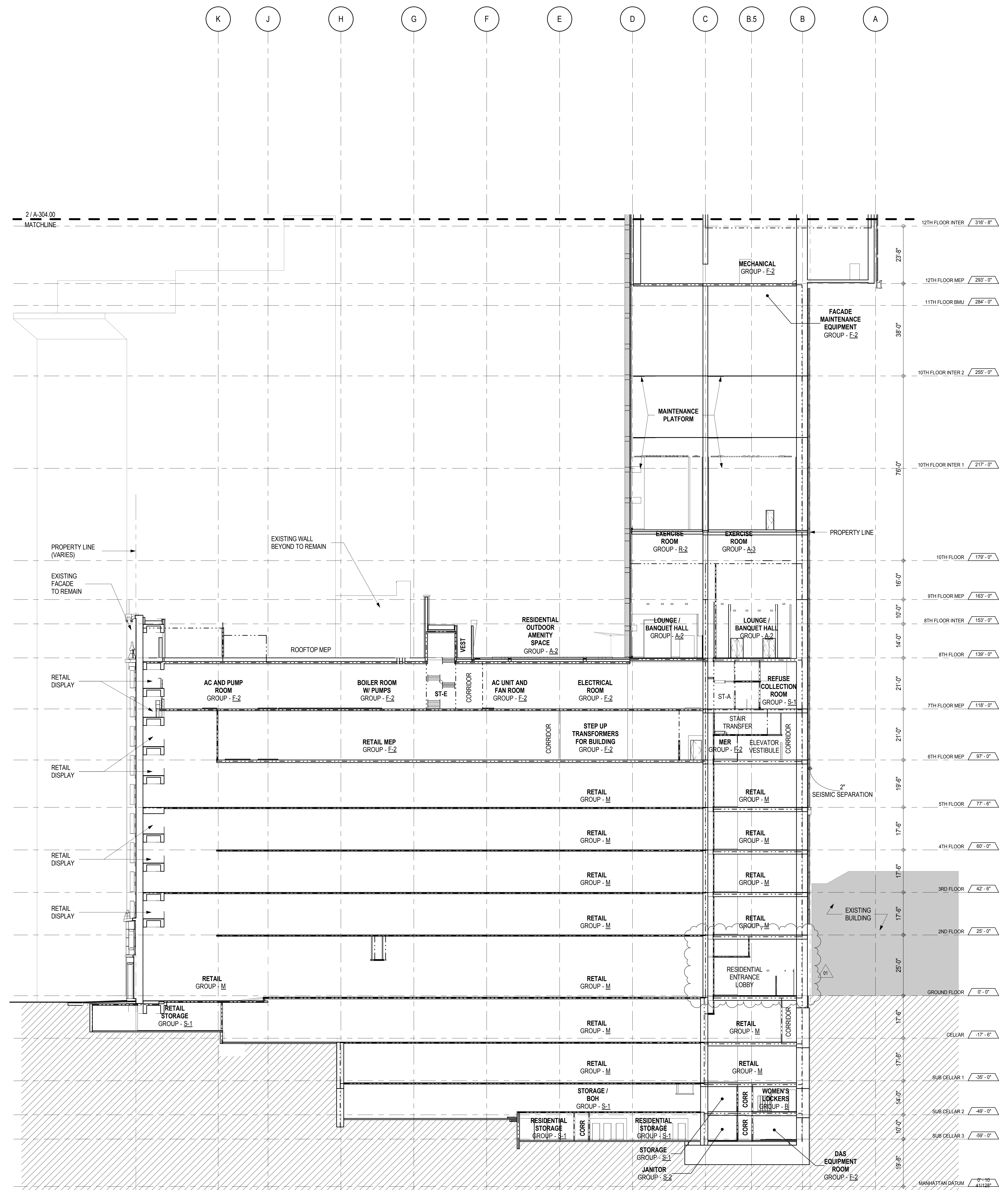
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DWG No:	<b>A-302.01</b>	
DOB PAGE No:		
DOB EMPLOYEE STAMP:	DOB B-SCAN:	







3 EAST-WEST BUILDING SECTION - 12TH FLOOR TO 45TH FLOOR  
A-301  
1/8" = 1'-0"



1 EAST-WEST BUILDING SECTION - SUB CELLAR 3 TO 16TH FLOOR  
A-301  
1/8" = 1'-0"

**KEY PLAN:**

**PROJECT NORTH:**

**DEVELOPER:**  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 11TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

**DESIGN ARCHITECT:** Base Building Shell & Core  
**AAI ARCHITECTS, P.C.**  
401 West 57th St., 3rd Floor  
New York, NY 10019  
TEL: 212 757 5659 FAX: 212 757 5659

**ARCHITECT OF RECORD:** Base Building Shell & Core  
**AAI ARCHITECTS, P.C.**  
401 West 57th St., 3rd Floor  
New York, NY 10019  
TEL: 212 757 5659 FAX: 212 757 5659

**STRUCTURAL ENGINEERS:**  
**WSP CANTOR SENUK**  
228 EAST 48th Street  
New York, NY 10017 USA  
TEL: 212 687 9888 FAX: 646 487 5501

**MEP ENGINEERS:**  
**AKF GROUP**  
1501 Broadway  
New York, NY 10036 USA  
TEL: 212 354 5656 FAX: 212 354 5668

**GEOTECHNICAL ENGINEERS:**  
**Langan Engineering & Environmental Services**  
21 Fern Plaza, 380 West 31st Street, 8th Floor  
New York, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

**CODE CONSULTANTS:**  
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100 Church Street  
New York, NY 10007  
TEL: 212 385 1818 FAX: 212 385 1911

**CURTAINWALL CONSULTANT:**  
**AJLP Consulting**  
40 Worth Street, Suite 828  
New York, NY 10013  
TEL: 212 757 5659 FAX: 646 219 8508

**LANDMARK/PRESERVATION CONSULTANT:**  
**Higgins Quasbarth & Partners LLC**  
11 Hanover Square, 16th Floor  
New York, NY 10005  
TEL: 212 274 9468 FAX: 646 274 9380

**LANDMARK/PRESERVATION CONSULTANT:**  
**Jan Hird Pokorny Associates, Inc.**  
30 West 57th Street, 12A  
New York, NY 10018  
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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	CD PROGRESS ISSUE 4	01 JUN 15
	D.O.B. AMENDMENT 1	24 JUL 15

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**CONSULTANT:**  
**AAI**  
ARCHITECTS, P.C.

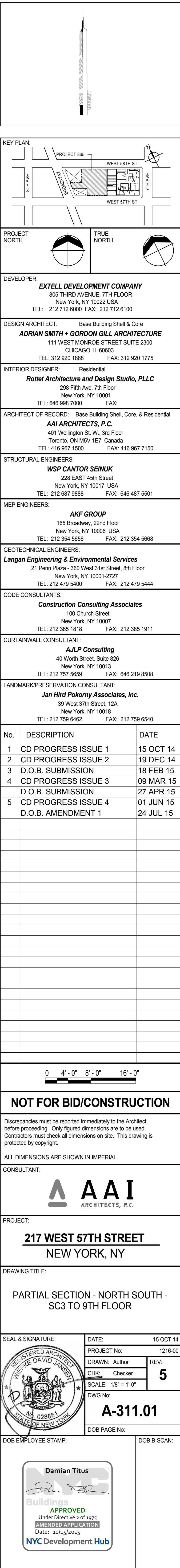
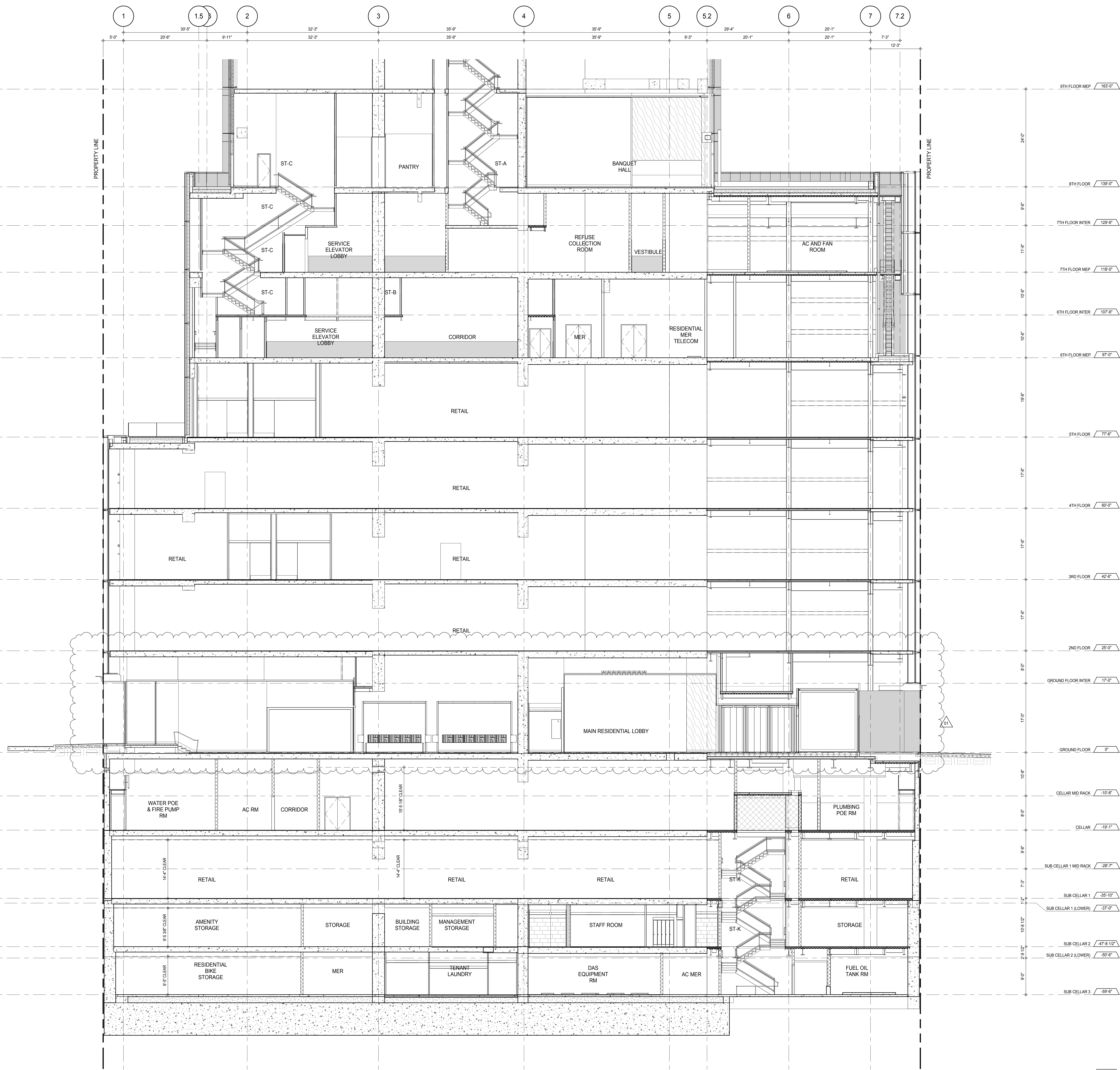
**PROJECT:**  
**217 WEST 57TH STREET**  
NEW YORK, NY

**DRAWING TITLE:**  
**EAST-WEST BUILDING SECTION**

**SEAL & SIGNATURE:**  
DATE: 05 DEC 14  
PROJECT No: 1216-00  
DRAWN: Author  
CHK: Checker  
SCALE: 1/8" = 1'-0"  
DWG No: **A-304.01**  
DOB PAGE No: DOB PAGE No: DOB B-SCAN:

**Damian Titus**  
APPROVED  
Under Directive 2 of 1995  
NYC Development Hub  
Date: 10/15/2015

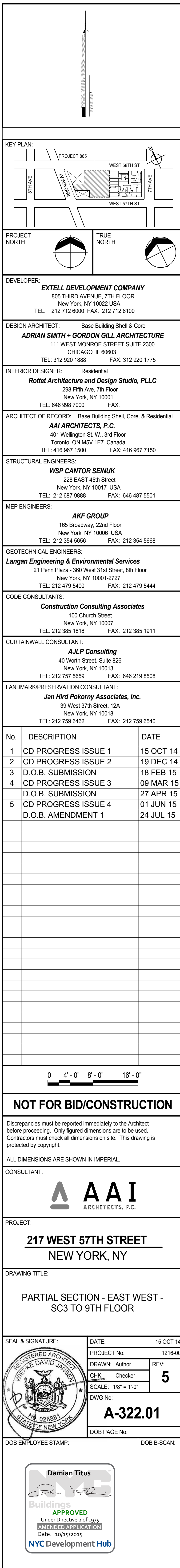
















No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
	D.O.B. AMENDMENT 1	24 JUL 15

**NOTE:**

- STAIR HEADROOM CLEARANCE SHOWN IS THE CODE REQUIRED MINIMUM. 1" MUST BE ADDED FOR TOLERANCE AND, WHERE REQUIRED, AN ADDITIONAL 2" FOR FIREPROOFING.
- WHERE FIRE RATED SOFFIT IS BEING PROVIDED, ADD AN ADDITIONAL 1" TO THE SOFFIT ASSEMBLY FOR TOLERANCE.

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: 

AAI




PROJECT:

217 WEST 57TH STREET  
NEW YORK, NY

DRAWING TITLE:

STAIRS ST-K AND ST-G SECTIONS

SEAL & SIGNATURE:	DATE:	15 OCT 14
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	PROJECT No: 1216-00	
	DESIGNED BY: Author	DATE:

	DRAWN: <i>Adrian</i>	REV.
	CHK: <i>Checker</i>	<b>5</b>

SCALE: 1/4" = 1'-0"



STATE OF NEW YORK  
No. 028881

DOB PAGE No:	
DOB EMPLOYEE STAMP:	DOB B-SCAN:

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Damian Titus



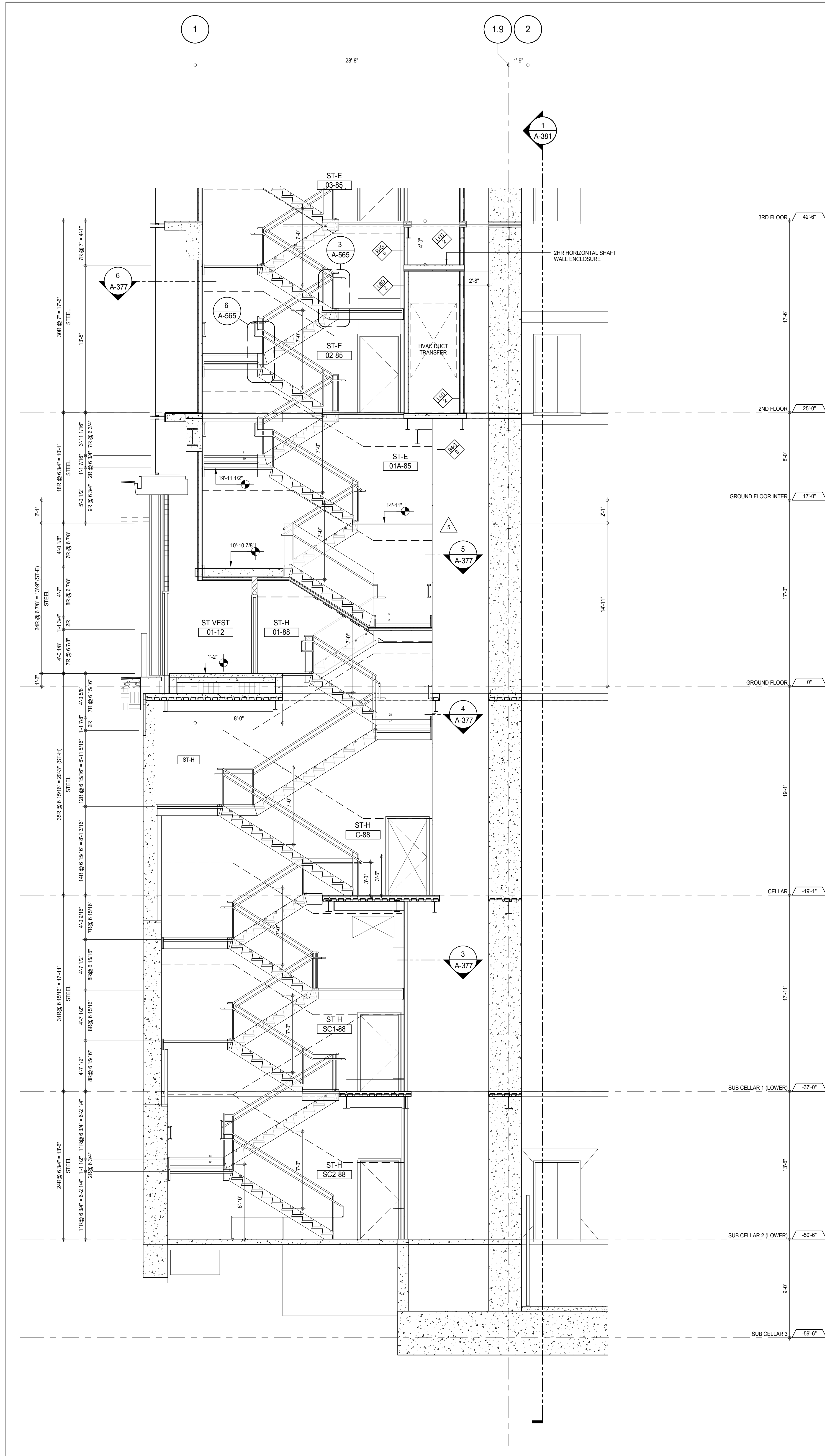
Buildings

**APPROVED**  
Under Directive 2 of 1975

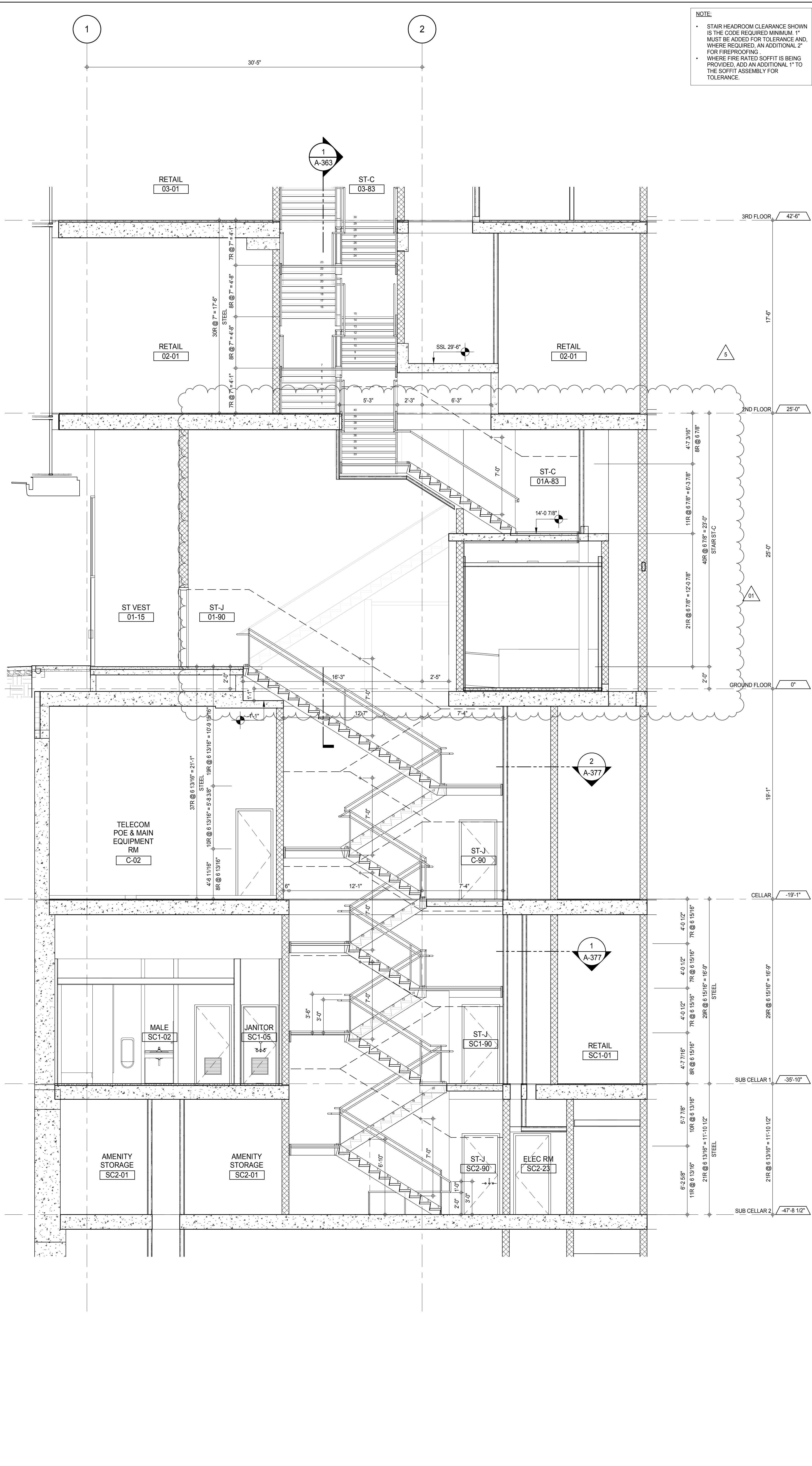
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Date: 10/15/2015  
NYC Department of Health

NYC Development Hub



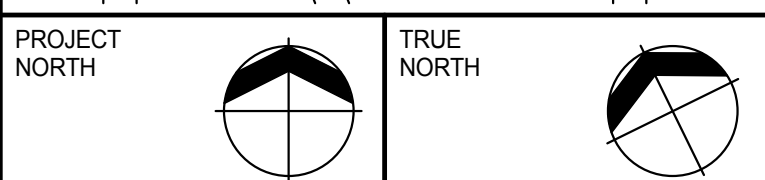
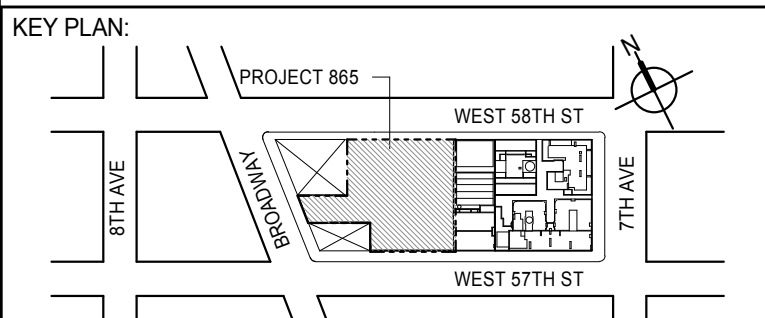


STAIRS ST-H & ST-E SECTION LOOKING EAST - SUB CELLAR 3 TO 3RD FLOOR  
A-377  
1/4" = 1'-0"



STAIRS ST-J, ST-B & ST-C SECTION LOOKING SOUTH - SUB CELLAR 2 TO 3RD FLOOR  
A-363  
1/4" = 1'-0"

NOTE:  
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DEVELOPER:  
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TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
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111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential  
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**AKF GROUP**  
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7	D.O.B. AMENDMENT 1	24 JUL 15

0 2'-0" 4'-0" 8'-0"

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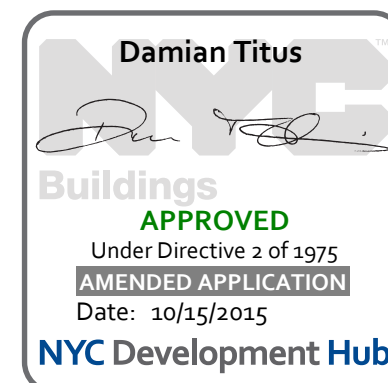
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:  
**AAI**  
ARCHITECTS, P.C.

PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:  
**STAIRS ST-J AND ST-H SECTIONS**

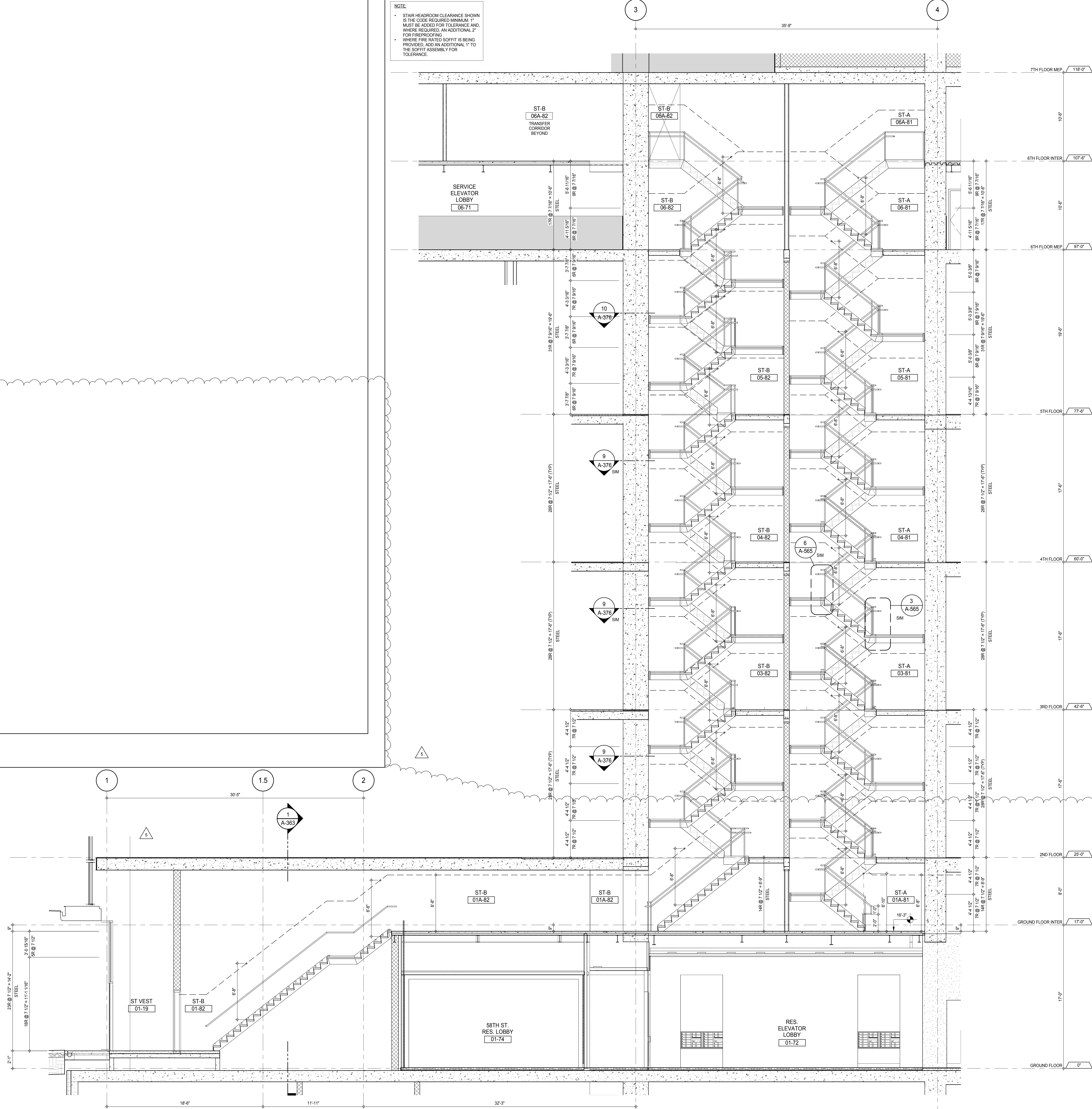
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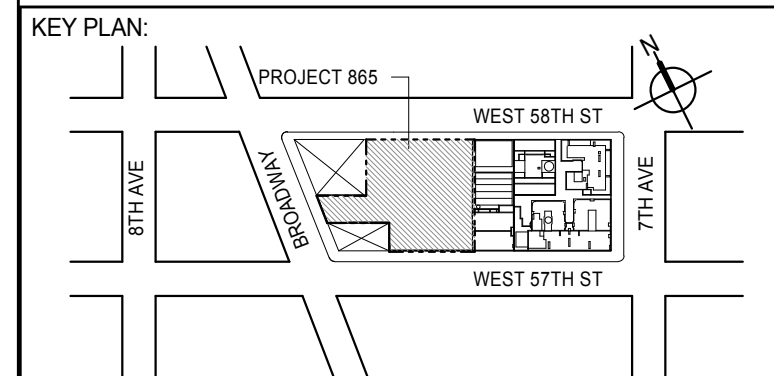
**APPROVED**  
Under Directive 2 of 1995  
NYC Development Hub  
Date: 10/15/2015



NOTE:  
• STAIR HEADROOM CLEARANCE SHOWN IS THE CODE REQUIRED MINIMUM. 1" MUST BE ADDED FOR TOLERANCE AND, WHERE REQUIRED, AN ADDITIONAL 2" FOR FIREPROOFING.  
• WHERE FIRE RATED SOFFIT IS BEING PROVIDED, ADD AN ADDITIONAL 1" TO THE SOFFIT ASSEMBLY FOR TOLERANCE.



STAIRS ST-A & ST-B SECTION LOOKING EAST - GROUND FLOOR TO 6TH FLOOR INTER  
A-376  
1/4" = 1'-0"



PROJECT NORTH  
TRUE NORTH

DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:  
Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:  
Residential  
**Rottet Architecture and Design Studio, PLLC**  
228 East 45th Street  
New York, NY 10017  
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential  
**AAI ARCHITECTS, P.C.**  
401 West 57th Street, 3rd Floor  
New York, NY 10019  
TEL: 212 759 6555 FAX: 212 759 6540

STRUCTURAL ENGINEERS:  
**WSP CANTOR SEINUK**  
228 East 45th Street  
New York, NY 10017 USA  
TEL: 212 687 8888 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
165 Broadway, 22nd Floor  
New York, NY 10008 USA  
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Penn Plaza - 300 West 51st Street, 9th Floor  
New York, NY 10001-2722  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 826  
New York, NY 10013  
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
39 West 57th Street, 12A  
New York, NY 10019  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

0' 2'-0" 4'-0" 8'-0"

NOT FOR BID/CONSTRUCTION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:  
**AAI ARCHITECTS, P.C.**

PROJECT:  
**217 WEST 57TH STREET  
NEW YORK, NY**

DRAWING TITLE:  
**STAIRS ST-A AND ST-B SECTIONS**

SEAL & SIGNATURE: [Signature]  
DATE: 15 OCT 14  
PROJECT No: 1216-00  
DRAWN: Author  
CHK: Checker  
SCALE: 1/4" = 1'-0"  
DWG No: **A-362.01**

DOB EMPLOYEE STAMP: [Stamp]  
DOB PAGE No: [Stamp]  
DOB 5-SCAN: [Stamp]

APPROVED  
Under Directive # of 1995  
EXTERIOR DESIGN PROFESSIONAL  
Date: 10/15/2015  
NYC Development Hub

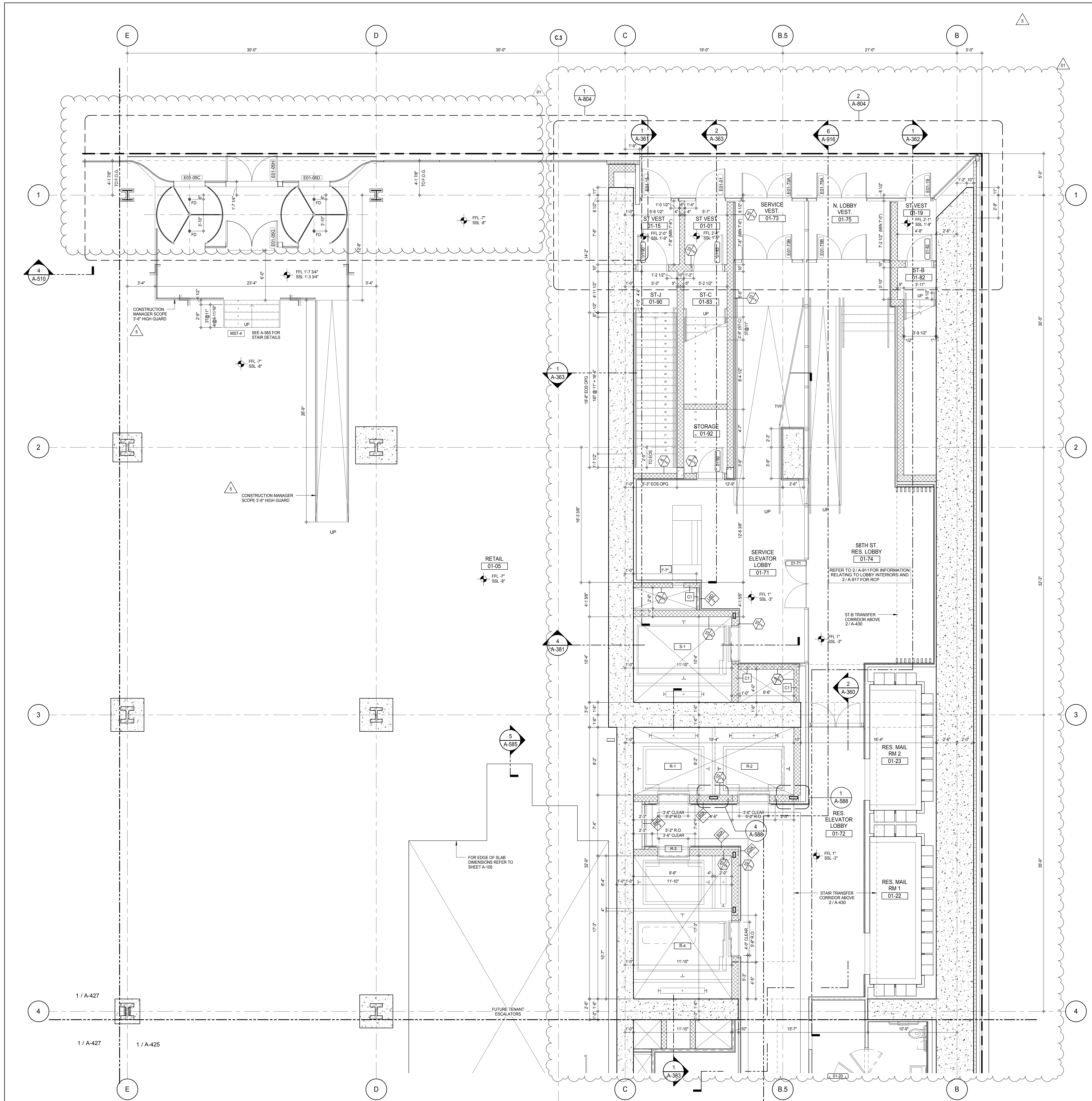










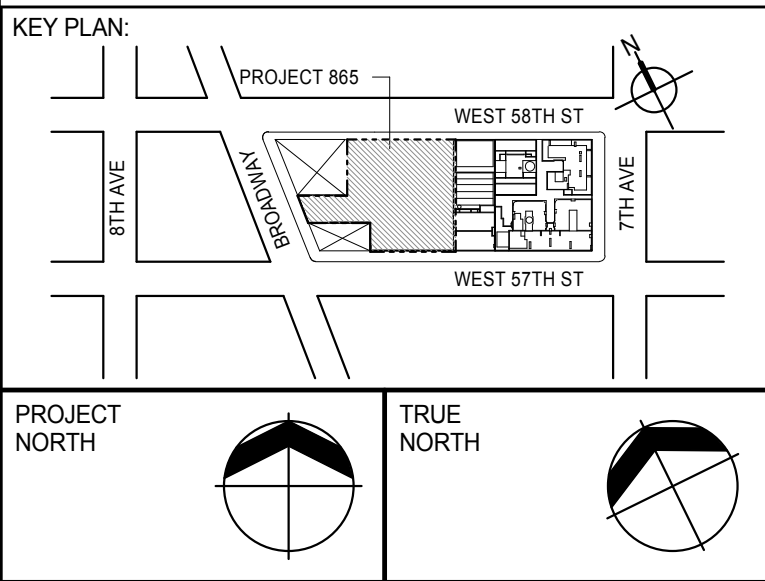


**SHEET NOTES:**

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS

EDGE OF SLAB IS 1/4" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS



DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
 805 THIRD AVENUE, 7TH FLOOR  
 NEW YORK, NY 10022 USA  
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
 111 WEST MONROE STREET SUITE 2300  
 CHICAGO, IL 60603  
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:  
**Rottet Architecture and Design Studio, PLLC**  
 228 FIFTH AVE., 7TH FLOOR  
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential  
**AAI ARCHITECTS, P.C.**  
 401 WEST 57TH ST., 3RD FLOOR  
 TORONTO, ON M5V 1E7 CANADA  
 TEL: 416 967 1500 FAX: 416 967 7150

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 NEW YORK, NY 10017 USA  
 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
 165 BROADWAY, 22ND FLOOR  
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GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
 21 FERRY PLAZA - 3RD FLOOR  
 NEW YORK, NY 10001-2722  
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CODE CONSULTANTS:  
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 100 Church Street  
 NEW YORK, NY 10007  
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 NEW YORK, NY 10018  
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0 2'-0" 4'-0" 8'-0"

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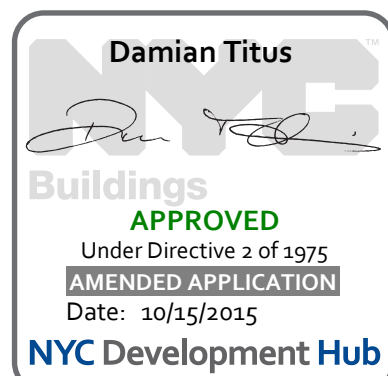
CONSULTANT:  
**AAI**  
 ARCHITECTS, P.C.

PROJECT:  
**217 WEST 57TH STREET**  
 NEW YORK, NY

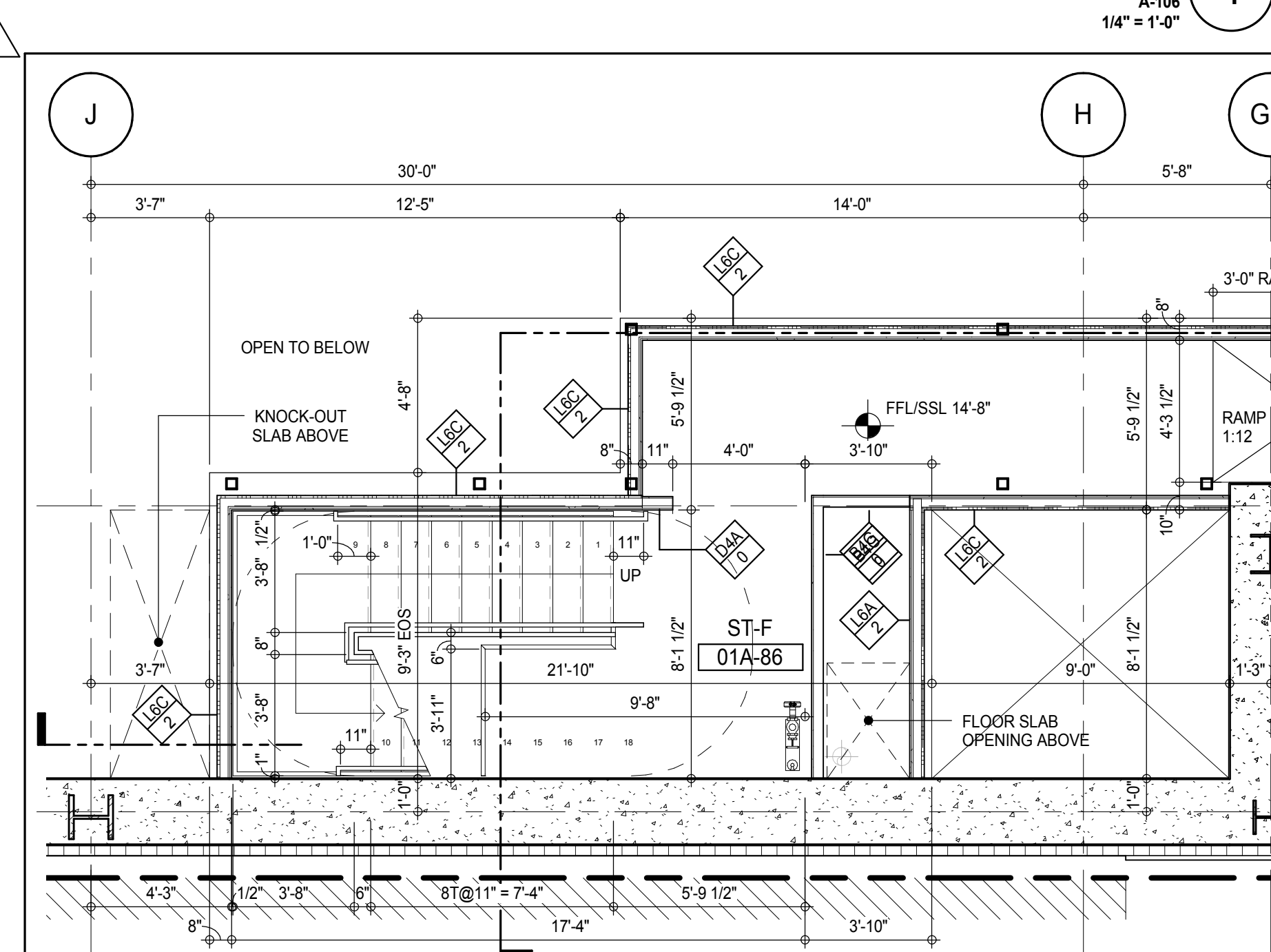
DRAWING TITLE:  
**GROUND FLOOR PART PLAN**  
 (NORTH-EAST) (MFD-GROUND FLOOR)

SEAL & SIGNATURE:  DAVID J. J. J. ARCHITECT STATE OF NEW YORK	DATE: 15 OCT 14 PROJECT No: 1216-00 DRAWN: Author CHK: Checker SCALE: 1/4" = 1'-0" DWG No: <b>A-426.01</b>	REV: <b>5</b>
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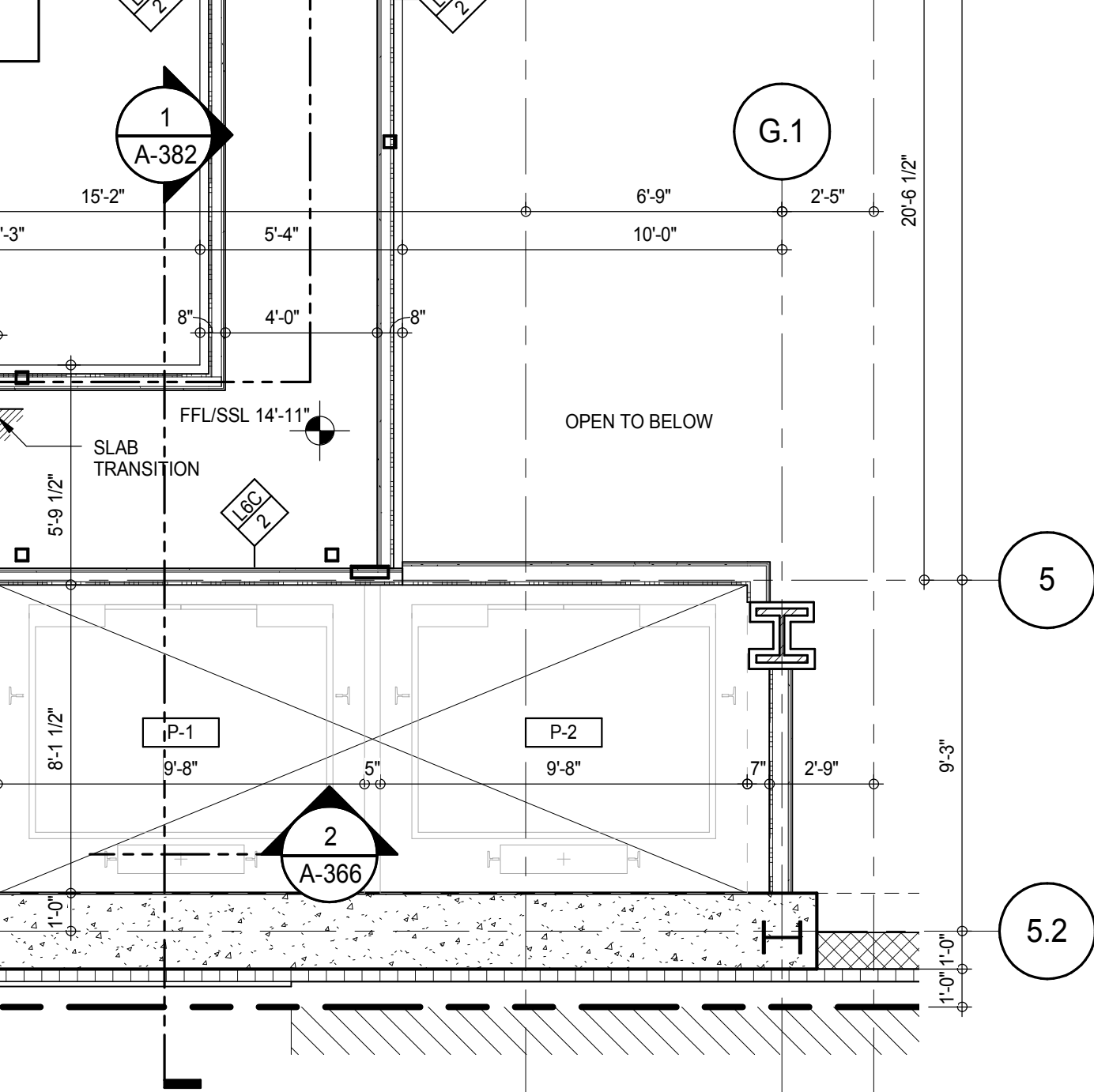
DOB EMPLOYEE STAMP: DOB PAGE No: DOB 5-SAN:



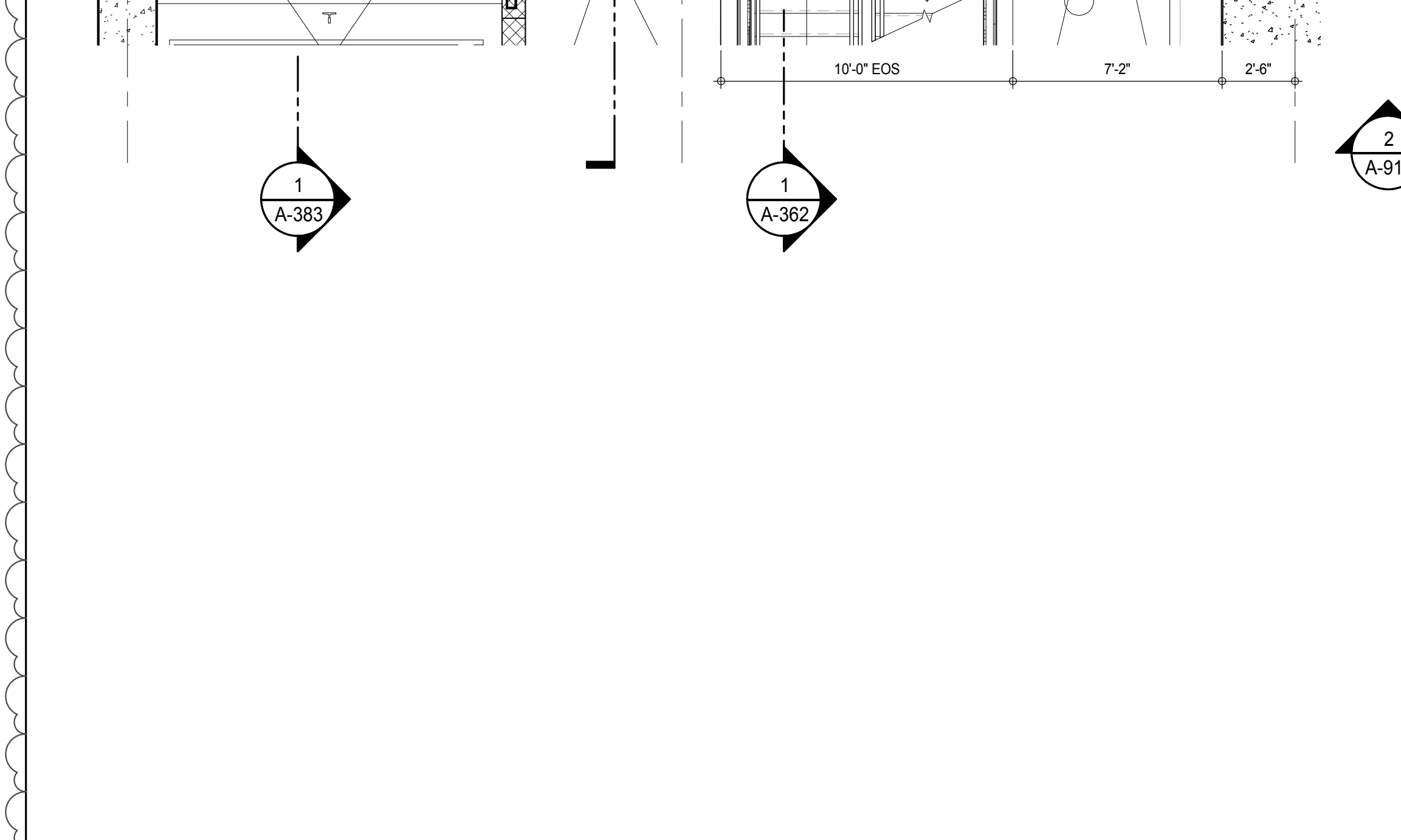




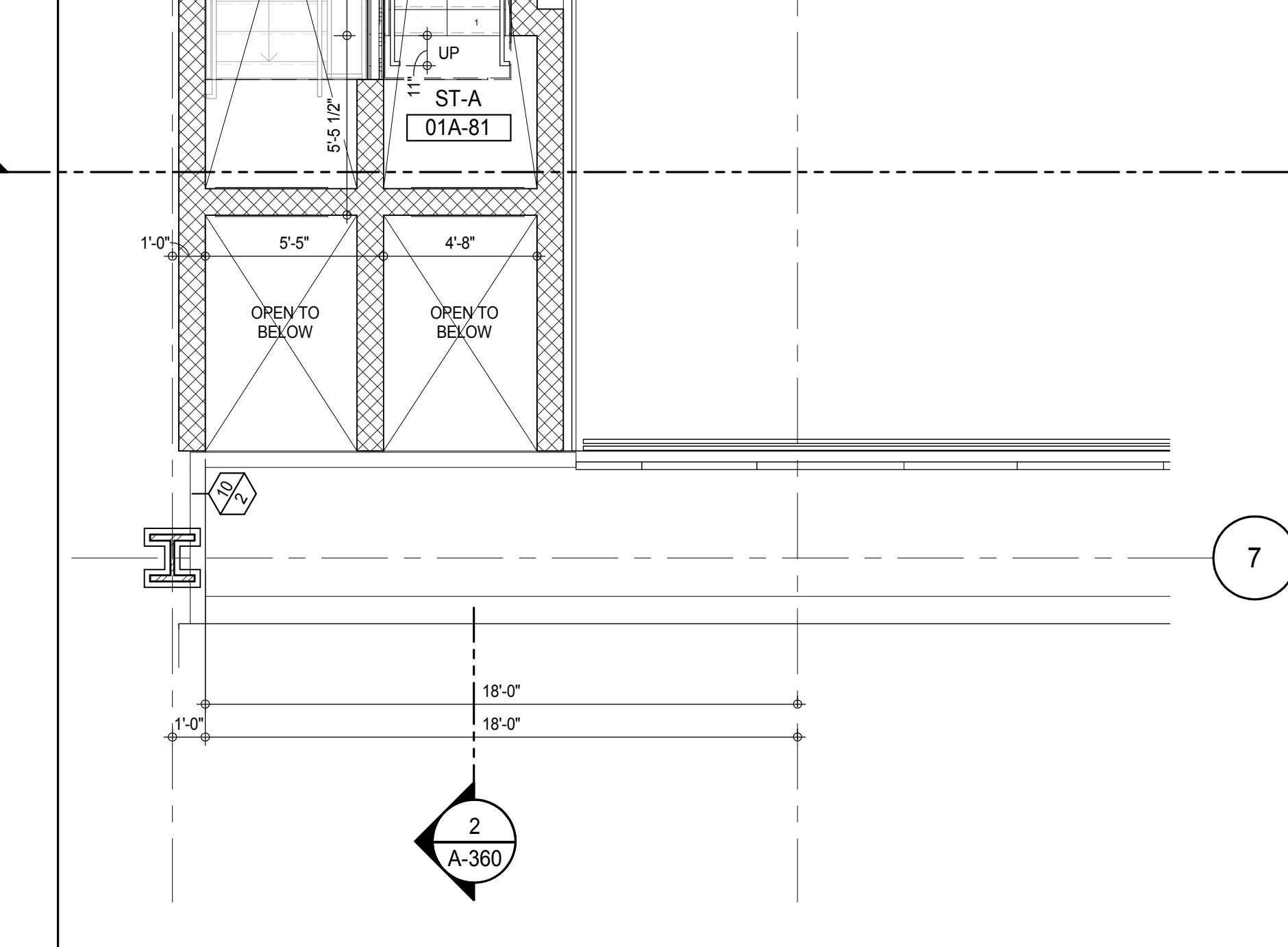
**GROUND FLOOR INTERMEDIATE STAIR TRANSFER PLAN**



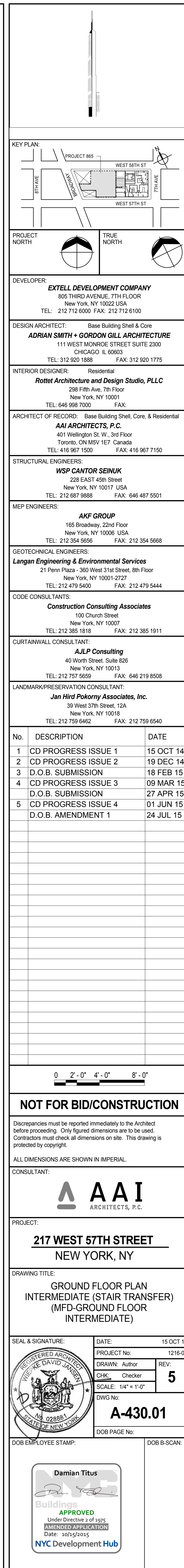
**GROUND FLOOR INTERMEDIATE STAIR TRANSFER PLAN**



### GROUND FLOOR INTERMEDIATE STAIR TRANSFER PLAN



**GROUND FLOOR INTERMEDIATE STAIR TRANSFER PLAN**





[illegible]



EXTERIOR DOOR SCHEDULE -																
LEVEL	DOOR NUMBER	FIRE RATINGS (MIN) (SELF-CLOSING G)	ACOUSTIC RATING (STC)	TYPE	WIDTH	HEIGHT	THICKNESS	PANEL 1	PANEL 2	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	HARDWARE SET	COMMENTS
GROUND FLOOR	E01-01			E3	3'-6"	7'-0"	0"	3'-6"	0"	GL						SINGLE DOOR
GROUND FLOOR	E01-05A			E2	7'-9"	9'-0"	0"	0"	0"	GL-59 & GL-60						REVOLVING DOOR (WIDTH IS DIAMETER OF DOOR)
GROUND FLOOR	E01-05B			E2	7'-9"	9'-0"	0"	0"	0"	GL-59 & GL-60						REVOLVING DOOR (WIDTH IS DIAMETER OF DOOR)
GROUND FLOOR	E01-05C			E2	7'-9"	9'-0"	0"	0"	0"	GL-59 & GL-60						REVOLVING DOOR (WIDTH IS DIAMETER OF DOOR)
GROUND FLOOR	E01-05D			E2	7'-9"	9'-0"	0"	0"	0"	GL-59 & GL-60						REVOLVING DOOR (WIDTH IS DIAMETER OF DOOR)
GROUND FLOOR	E01-05E			E2	6'-4"	9'-0"	2"	3'-2"	3'-2"	GL-61						GROUND FLOOR DOUBLE DOOR TO RETAIL
GROUND FLOOR	E01-05F			E2	6'-4"	9'-0"	2"	3'-2"	3'-2"	GL-61						GROUND FLOOR DOUBLE DOOR TO RETAIL
GROUND FLOOR	E01-05H			E2	6'-4"	9'-0"	2"	3'-2"	3'-2"	GL-61						GROUND FLOOR DOUBLE DOOR TO RETAIL
GROUND FLOOR	E01-05J			E2	7'-9"	9'-0"	0"	0"	0"	GL-59 & GL-60						REVOLVING DOOR (WIDTH IS DIAMETER OF DOOR)
GROUND FLOOR	E01-05K			E2	7'-9"	9'-0"	0"	0"	0"	GL-59 & GL-60						REVOLVING DOOR (WIDTH IS DIAMETER OF DOOR)
GROUND FLOOR	E01-05L			E2	6'-4"	9'-0"	0"	3'-2"	3'-2"	GL						GROUND FLOOR DOUBLE DOOR TO RETAIL
GROUND FLOOR	E01-05M			E2	6'-4"	9'-0"	0"	3'-2"	3'-2"	GL						GROUND FLOOR DOUBLE DOOR TO RETAIL
GROUND FLOOR	E01-06			E3	3'-6"	7'-6"	1.34"	3'-6"	0"	HM	PT & MTL-51		HM	PT		SINGLE DOOR
GROUND FLOOR	E01-07			E3	3'-6"	7'-6"	1.34"	3'-6"	0"	HM	PT & MTL-51		HM	PT		SINGLE DOOR
GROUND FLOOR	E01-11			E3	3'-6"	7'-6"	0"	3'-6"	0"	GL-61						SINGLE DOOR
GROUND FLOOR	E01-12			E3	3'-6"	7'-6"	1.34"	3'-6"	0"	HM	PT & MTL-51		HM	PT		SINGLE DOOR
GROUND FLOOR	E01-13			E3	3'-6"	7'-6"	1.34"	3'-6"	0"	HM	PT & MTL-51		HM	PT		SINGLE DOOR
GROUND FLOOR	E01-14A			E3	3'-0"	7'-6"	1.34"	3'-6"	0"	HM	PT		HM	PT		SINGLE DOOR
GROUND FLOOR	E01-14B			E3	3'-0"	7'-6"	1.34"	3'-6"	0"	HM	PT		HM	PT		SINGLE DOOR
GROUND FLOOR	E01-14C	UNLABELED		E12	8'-0"	8'-0"	3"	8'-0"	0"	HM	AL		HM	PT		OH ROLLING DOOR
GROUND FLOOR	E01-14D	UNLABELED		E12	8'-0"	8'-0"	3"	8'-0"	0"	HM	AL		HM	PT		OH ROLLING DOOR
GROUND FLOOR	E01-15			E3	3'-6"	7'-0"	0"	3'-6"	0"	GL						SINGLE DOOR
GROUND FLOOR	E01-16			E2	3'-0"	9'-0"	2"	3'-0"	0"	HM			HM	PT		SINGLE DOOR
GROUND FLOOR	E01-18			E2	3'-0"	9'-0"	2"	3'-0"	0"	HM			HM	PT		SINGLE DOOR
GROUND FLOOR	E01-19			E4	3'-0"	8'-0"	0"	3'-0"	0"	GL						DOUBLE DOOR
GROUND FLOOR	E01-24A			E2	3'-6"	9'-0"	0"	3'-6"	0"	GL						SINGLE DOOR
GROUND FLOOR	E01-24B			E2	3'-6"	9'-0"	0"	3'-6"	0"	GL						SINGLE DOOR
GROUND FLOOR	E01-24C			E2	7'-9"	9'-0"	0"	0"	0"	GL-59 & GL-60						REVOLVING DOOR (WIDTH IS DIAMETER OF DOOR)
GROUND FLOOR	E01-055F			E2	6'-4"	9'-0"	2"	3'-2"	3'-2"	GL-61						GROUND FLOOR DOUBLE DOOR TO RETAIL
GROUND FLOOR	E01-73A			E4	6'-0"	7'-0"	0"	3'-0"	3'-0"	GL						DOUBLE DOOR
GROUND FLOOR	E01-73B			E4	6'-0"	9'-0"	0"	3'-0"	3'-0"	GL						DOUBLE DOOR
GROUND FLOOR	E01-75A			E4	6'-0"	8'-0"	0"	3'-0"	3'-0"	GL						DOUBLE DOOR
GROUND FLOOR	E01-75B			E4	6'-0"	9'-0"	0"	3'-0"	3'-0"	GL						DOUBLE DOOR
GROUND FLOOR	E01-89			E3	3'-0"	7'-6"	2"	3'-6"	0"		PT & MTL-51					SINGLE DOOR
LEVEL 02	E02-85	90		E3	3'-6"	7'-0"	0"	3'-6"	0"							SINGLE DOOR
LEVEL 05	E05-01A			E3	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR
LEVEL 05	E05-01B			E3	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR
LEVEL 06	E06-25			E4	6'-0"	8'-0"	0"	3'-0"	3'-0"							DOUBLE DOOR
LEVEL 06	E06-01	90		E6	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-A SYSTEM
LEVEL 06	E06-02			E6	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-A SYSTEM INWARD SWING
LEVEL 06	E06-03			E7	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-B SYSTEM
LEVEL 06	E06-13			E7	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-B SYSTEM
LEVEL 06	E06-18			E7	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-B SYSTEM
LEVEL 06	E06-30A			E7	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-B SYSTEM
LEVEL 06	E06-30B			E6	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-A SYSTEM
LEVEL 06	E06-30C			E6	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-A SYSTEM
LEVEL 06	E06-30E			E6	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-A SYSTEM INWARD SWING
LEVEL 06	E06-30F			E6	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-A SYSTEM
LEVEL 06	E06-83	90		E6	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-A SYSTEM INWARD SWING
LEVEL 20	E20-01			E9	4'-10"	8'-0"	0"	4'-10"	0"	GL						SLIDING DOOR IN W-A SYSTEM
LEVEL 20	E20-02			E9	4'-10"	8'-0"	0"	4'-10"	0"	GL						SLIDING DOOR IN W-A SYSTEM
LEVEL 28	E28-01			E6	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-A SYSTEM INWARD SWING
LEVEL 28	E28-02			E6	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-A SYSTEM INWARD SWING
LEVEL 47	E47-01			E9	4'-10"	8'-0"	0"	4'-10"	0"							SLIDING DOOR IN W-A SYSTEM
LEVEL 47	E47-02			E9	3'-10"	8'-0"	0"	3'-10"	0"							SLIDING DOOR IN W-A SYSTEM
LEVEL 47	E47-03			E10	3'-4"	8'-0"	0"	3'-4"	0"							SLIDING DOOR IN W-B SYSTEM
LEVEL 68	E68-01			E9	4'-10"	8'-0"	0"	4'-10"	0"							SLIDING DOOR IN W-A SYSTEM
LEVEL 68	E68-02			E10	3'-4"	8'-0"	0"	3'-4"	0"							SLIDING DOOR IN W-B SYSTEM
LEVEL 68	E68-03			E10	3'-4"	8'-0"	0"	3'-4"	0"							SLIDING DOOR IN W-B SYSTEM
LEVEL 70	E70-01			E6	4'-8"	8'-0"	0"	4'-8"	0"							DOUBLE DOOR IN W-B SYSTEM
LEVEL 70	E70-02			E10	4'-10"	8'-0"	0"	4'-10"	0"							SLIDING DOOR IN W-B SYSTEM
LEVEL 93	E93-01			E11	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-E SYSTEM
LEVEL 93	E93-02			E11	3'-0"	8'-0"	0"	3'-0"	0"							SINGLE DOOR IN W-E SYSTEM
LEVEL 99	E99-02	90		E3	3'-6"	7'-6"	1.34"	3'-6"	0"	HM	PT	HM1	HM	PT		SINGLE DOOR
LEVEL 99	E99-03			E3	3'-6"	7'-6"	1.34"	3'-6"	0"	HM	PT	HM1	HM	PT		SINGLE DOOR

GENERIC

E2

E3

E4

E12

W-A ZONE

E5

E6

E9

W-B ZONE

E7

E8

E10

W-E ZONE

E11

PROVIDE VISION PANEL

EXTERIOR DOOR TYPES LEGEND  
1/4" = 1'-0"

KEY PLAN

PROJECT 865

WEST 9TH ST

WEST 57TH ST

9TH AVE

11TH AVE

13TH AVE

15TH AVE

17TH AVE

19TH AVE

21TH AVE

23TH AVE

25TH AVE

27TH AVE

29TH AVE

31TH AVE

33TH AVE

35TH AVE

37TH AVE

39TH AVE

41TH AVE

43TH AVE

45TH AVE

47TH AVE

49TH AVE

51TH AVE

53TH AVE

55TH AVE

57TH AVE

59TH AVE

61TH AVE

63TH AVE

65TH AVE

67TH AVE

69TH AVE

71TH AVE

73TH AVE

75TH AVE

77TH AVE

79TH AVE

81TH AVE

83TH AVE

85TH AVE

87TH AVE

89TH AVE

91TH AVE

93TH AVE

95TH AVE

97TH AVE

99TH AVE

101TH AVE

103TH AVE

105TH AVE

107TH AVE

109TH AVE

111TH AVE

113TH AVE

115TH AVE

117TH AVE

119TH AVE

121TH AVE

123TH AVE

125TH AVE

127TH AVE

129TH AVE

131TH AVE

133TH AVE

135TH AVE

137TH AVE

139TH AVE

141TH AVE

143TH AVE

145TH AVE

147TH AVE

149TH AVE

151TH AVE

153TH AVE

155TH AVE

157TH AVE

159TH AVE

161TH AVE

163TH AVE

165TH AVE

167TH AVE

169TH AVE

171TH AVE

173TH AVE

175TH AVE

177TH AVE

179TH AVE

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183TH AVE

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191TH AVE

193TH AVE

195TH AVE

197TH AVE

199TH AVE

201TH AVE

203TH AVE

205TH AVE

207TH AVE

209TH AVE

211TH AVE

213TH AVE

215TH AVE

217TH AVE

219TH AVE

221TH AVE

223TH AVE

225TH AVE

227TH AVE

229TH AVE

231TH AVE

233TH AVE

235TH AVE

237TH AVE

239TH AVE

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243TH AVE

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247TH AVE

249TH AVE

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253TH AVE

255TH AVE

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259TH AVE

261TH AVE

263TH AVE

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281TH AVE

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299TH AVE

301TH AVE

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311TH AVE

313TH AVE

315TH AVE

317TH AVE

319TH AVE

321TH AVE

323TH AVE

325TH AVE

327TH AVE

329TH AVE

331TH AVE

333TH AVE

335TH AVE

337TH AVE

339TH AVE

341TH AVE

343TH AVE

345TH AVE

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353TH AVE

355TH AVE

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389TH AVE

391TH AVE

393TH AVE

395TH AVE

397TH AVE

399TH AVE

401TH AVE

403TH AVE

405TH AVE

407TH AVE

409TH AVE

411TH AVE

413TH AVE

415TH AVE

417TH AVE

419TH AVE

421TH AVE

423TH AVE

425TH AVE

427TH AVE

429TH AVE

431TH AVE

433TH AVE

435TH AVE

437TH AVE

439TH AVE

441TH AVE

443TH AVE

445TH AVE

447TH AVE

449TH AVE

451TH AVE

453TH AVE

455TH AVE

457TH AVE

459TH AVE

461TH AVE

463TH AVE

465TH AVE

467TH AVE

469TH AVE

471TH AVE

473TH AVE

475TH AVE

477TH AVE

479TH AVE

481TH AVE

483TH AVE

485TH AVE

487TH AVE

489TH AVE

491TH AVE

493TH AVE

495TH AVE

497TH AVE

499TH AVE

501TH AVE

503TH AVE

505TH AVE

507TH AVE

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779TH AVE

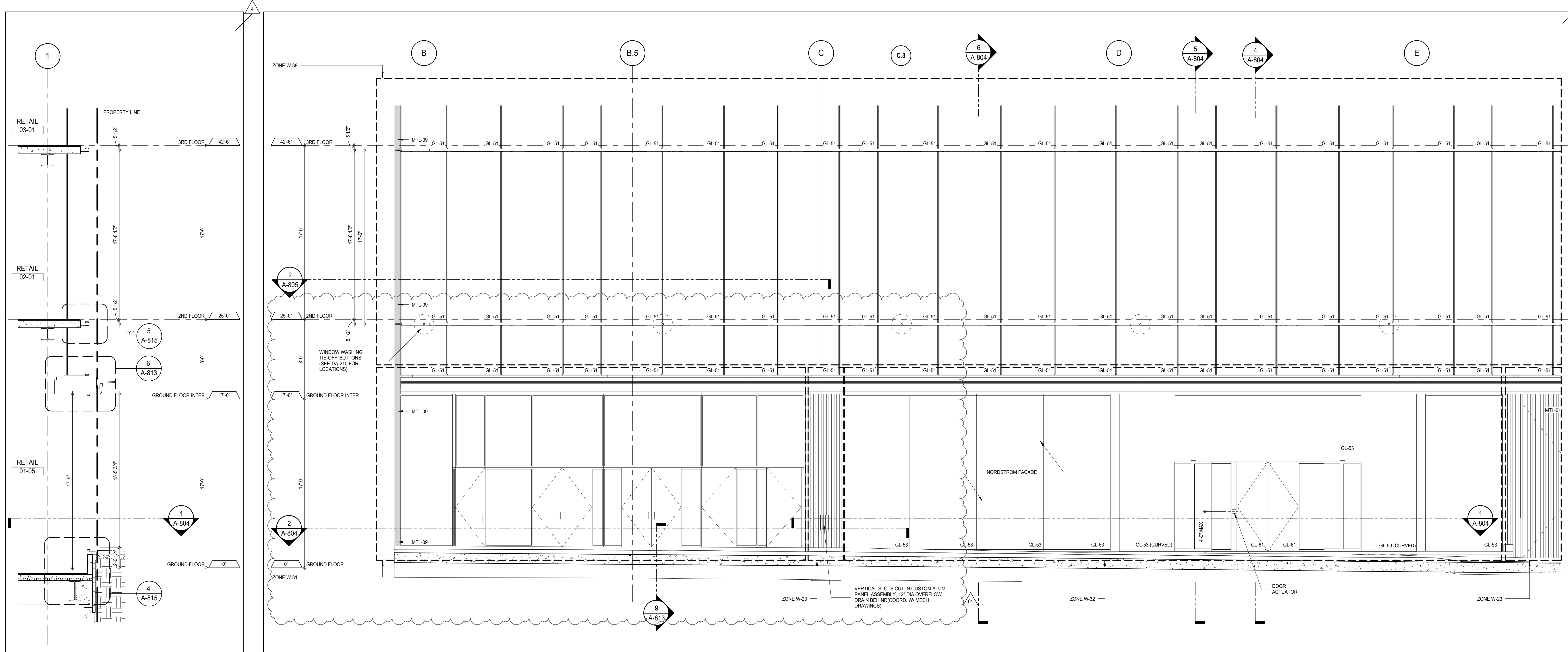
781TH AVE

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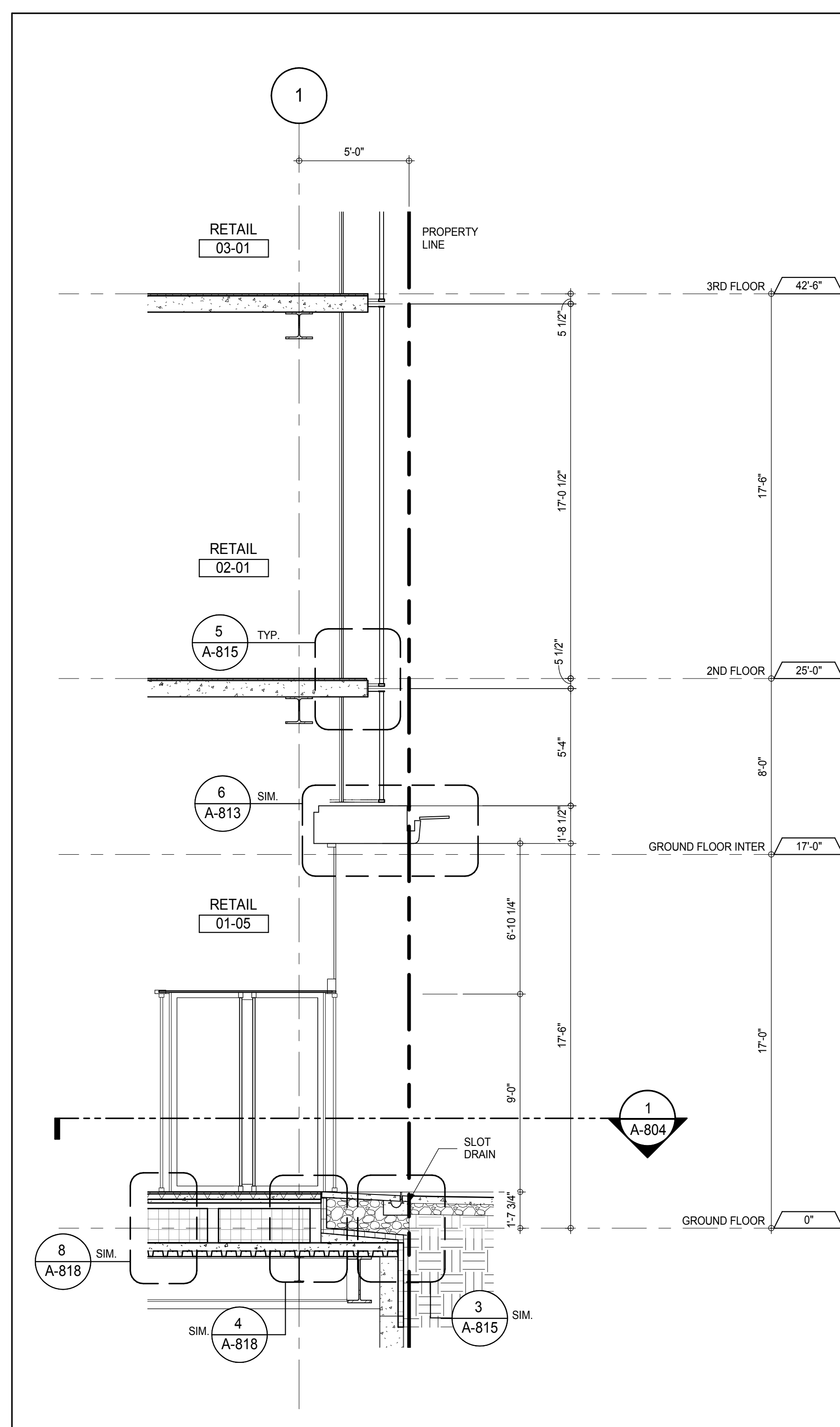
30" x 48" A110 E SHEET 035

DEPT OF BLDGS 212-330-2000 Job Number E800597360

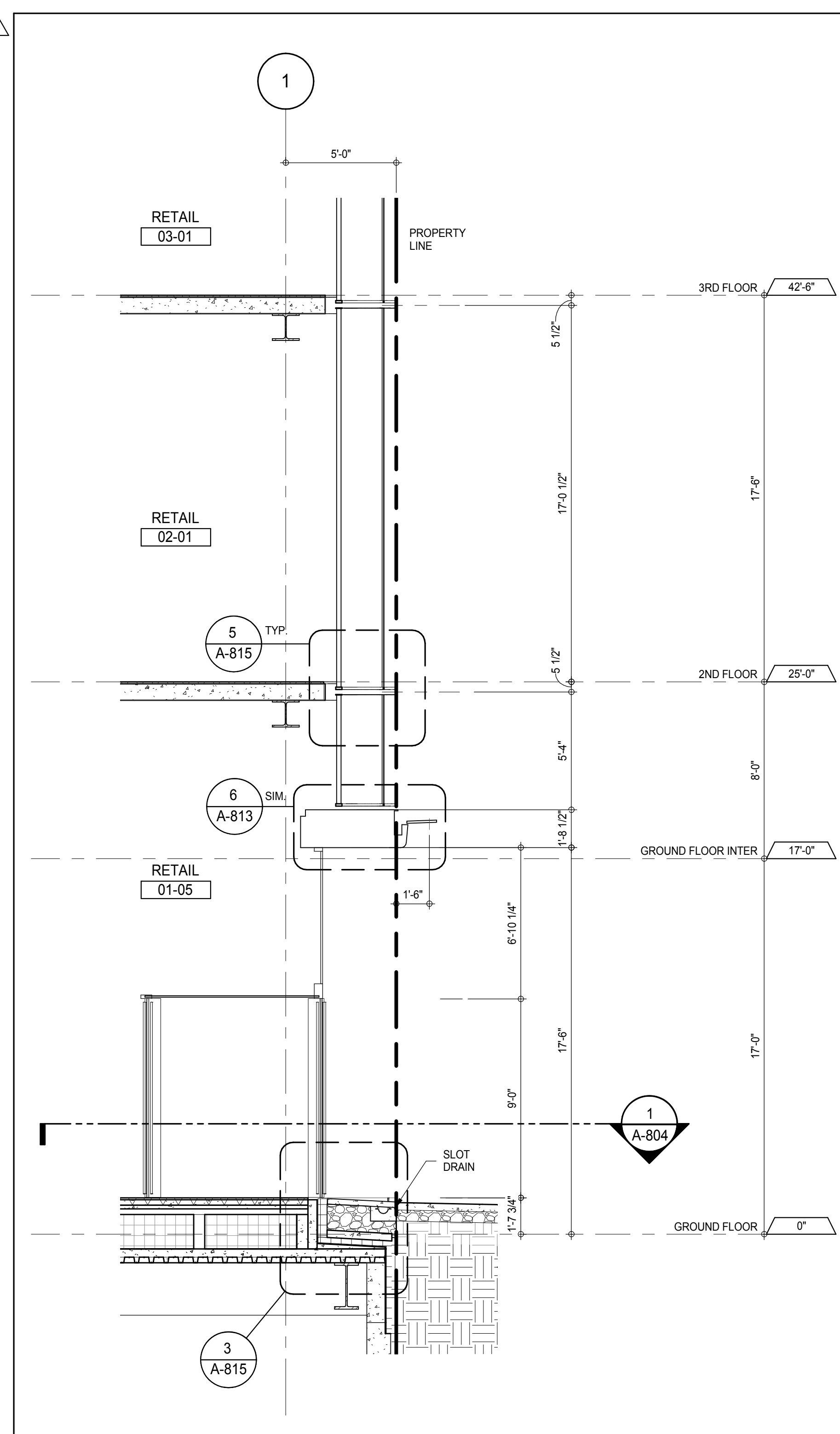


SECTION DETAIL - GROUND FLOOR

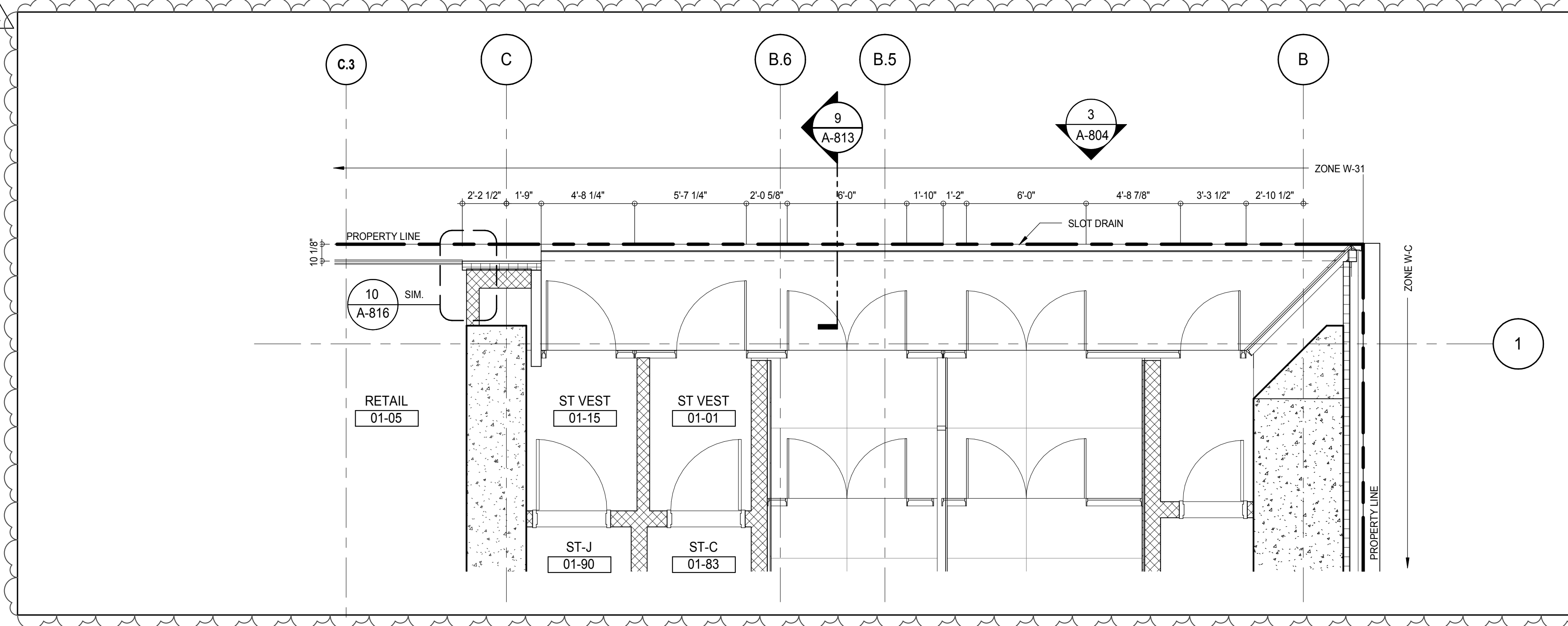
ELEVATION DETAIL - NORTH



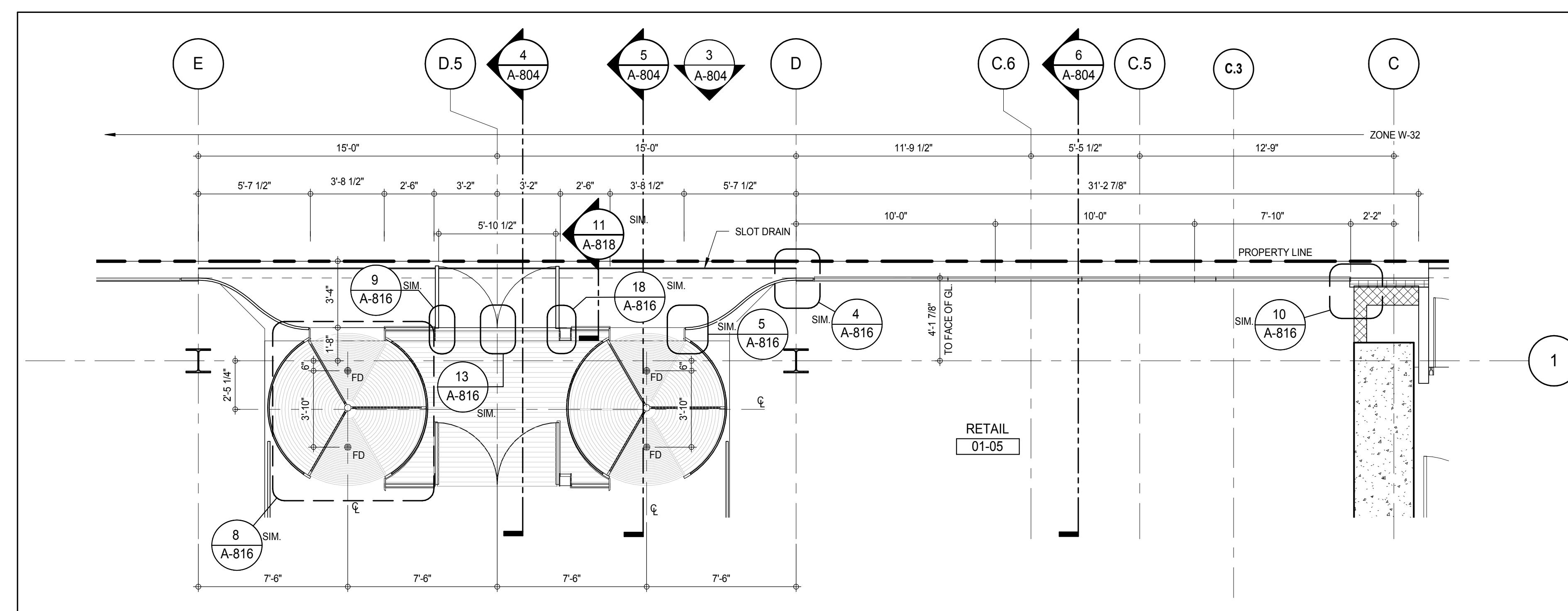
WALL SECTION AT 58TH ST. REVOLVING DOOR ENTRANCE - GROUND FLOOR



WALL SECTION AT 58TH ST. SWING DOOR ENTRANCE - GROUND FLOOR



PLAN DETAIL - GROUND FLOOR NORTH



PLAN DETAIL - GROUND FLOOR - NORTH

KEY PLAN

PROJECT #89 WEST 58TH ST WEST 57TH ST 7TH AVE

PROJECT NORTH TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
New York, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO IL 60603  
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INTERIOR DESIGNER: **Residential**  
**Rottet Architecture and Design Studio, PLLC**  
288 Fifth Ave, 7th Floor  
New York, NY 10001  
TEL: 646 989 7000 FAX: 646 989 7000

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228 EAST 45th Street  
New York, NY 10017 USA  
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**  
165 Broadway, 22nd Floor  
New York, NY 10006 USA  
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**  
21 Penn Plaza - 300 West 51st Street, 8th Floor  
New York, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**  
40 Worth Street, Suite 826  
New York, NY 10013  
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**  
39 West 37th Street, 12A  
New York, NY 10018  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
4	D.O.B. SUBMISSION	27 APR 15
4	CD PROGRESS ISSUE 4	01 JUN 15
	D.O.B. AMENDMENT 1	24 JUL 15

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET NEW YORK, NY**

DRAWING TITLE: **EXTERIOR WALL DETAILS - PODIUM - NORTH**

SEAL & SIGNATURE	DATE	PROJECT No.	19 DEC 14
	DRAWN: Author	1216-00	REV: 4
	CHK: Checker		
	SCALE: 1/4" = 1'-0"		

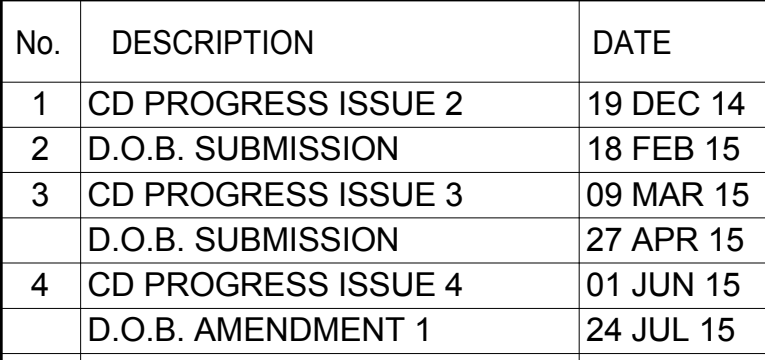
DWG No: **A-804.01**

DOB EMPLOYEE STAMP: **Damian Titus**

DOB PAGE No: **4**

DOB 5-SCAN: **APPROVED**  
Under Directive 2 of 1995  
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Date: 10/15/2015





Date: 10/15/2015  
NYC Development Hub







